

200' PROPERTY OWNERS LIST

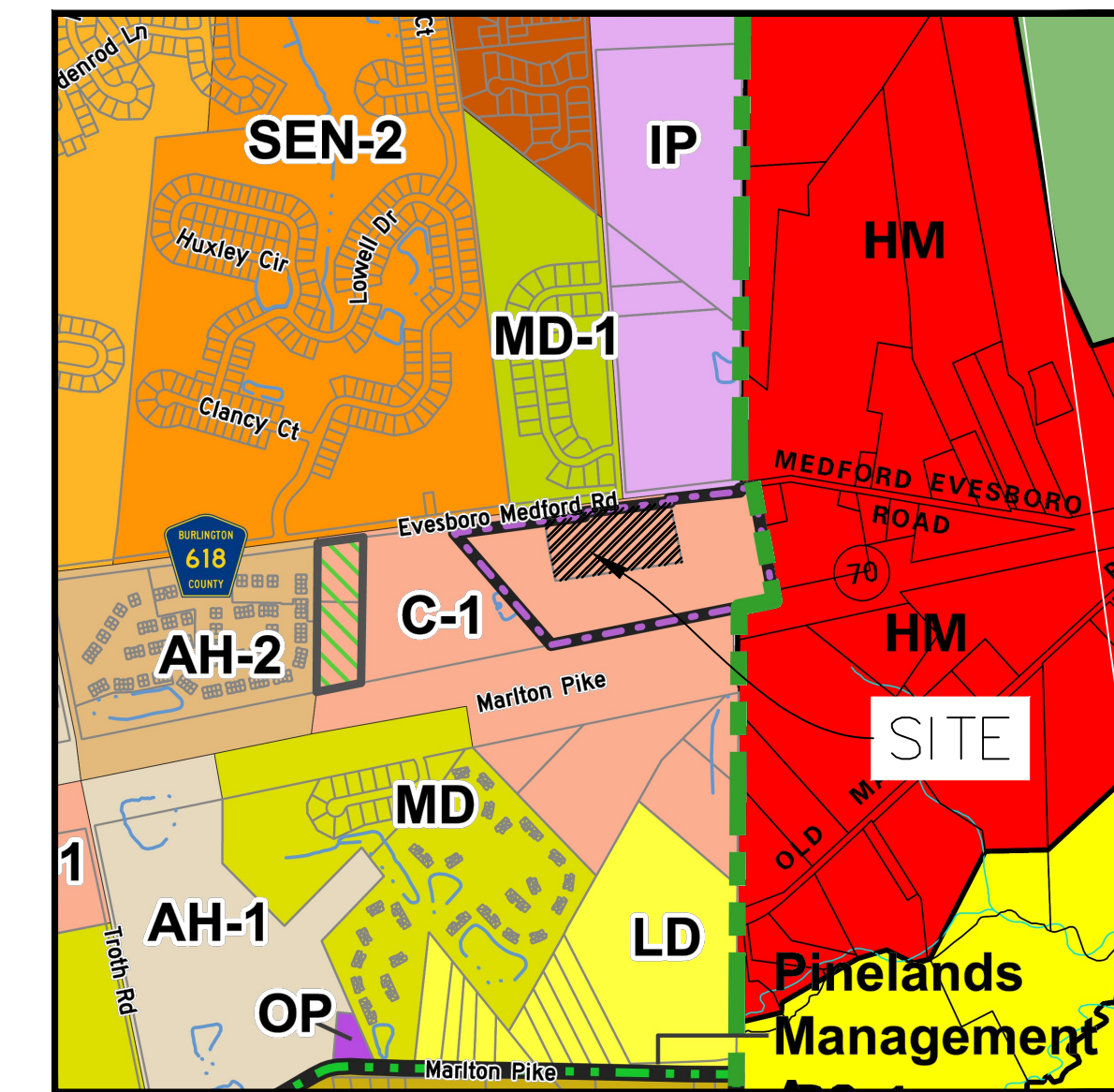
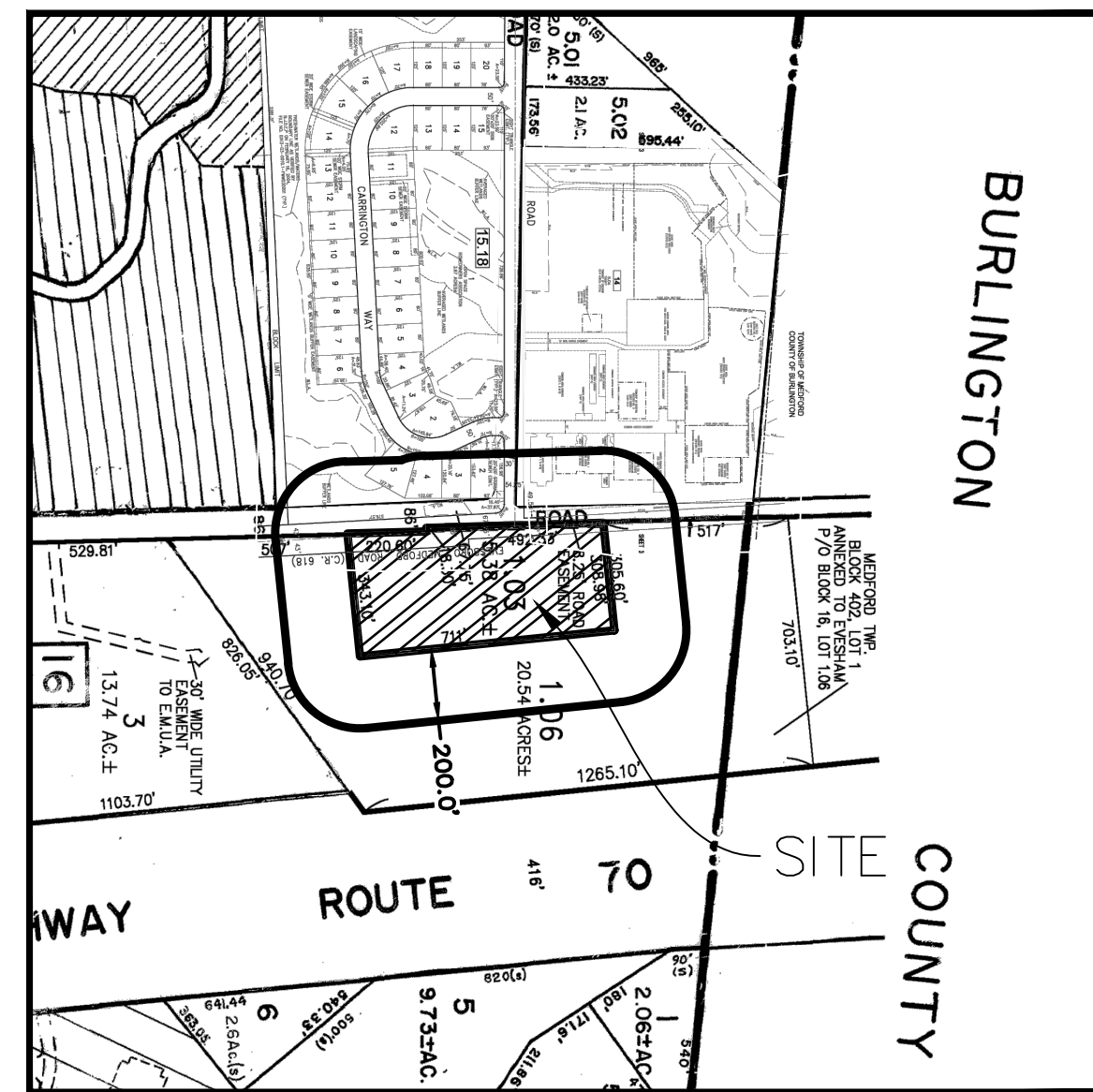
OWNER & ADDRESS REPORT						
EVESHAM TWP						
200 FOOT LIST FOR BLOCK 16 LOT 1.03						
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	
14	5.04		15C	EVESHAM TOWNSHIP WVA TUCKERTON ROAD MARLTON, NJ 08053	100 SHARP ROAD	
15.19	1		1	DEVONFORDE EST HOMASSOCIA MIDATLAN 14000 HORIZON WAY STE 200 MT LAUREL, NJ 08054	131 SHARP ROAD	
15.19	2		2	SYED, AMER A & AMER, KINZA A 2 CARRINGTON WAY MARLTON, NJ 08053	2 CARRINGTON WAY	
15.19	3		2	PATEL, ANILIT A & PURVI N 4 CARRINGTON WAY MARLTON, NJ 08053	4 CARRINGTON WAY	
15.19	4		2	PATEL, RAJ A 6 CARRINGTON WAY MARLTON, NJ 08053	6 CARRINGTON WAY	
15.19	5		2	MURRAY, CHRISTOPHER M & KRISTY L 8 CARRINGTON WAY MARLTON, NJ 08053	8 CARRINGTON WAY	
16	1.06		1	MRP BARCLAY CHASE MARLTON URBAN REN 308 E LANCASTER AVE #300 WYNEWOOD, PA 19096	500-7000 BARCLAY BLVD	

PRELIMINARY MAJOR SITE PLAN FORMER DPW REDEVELOPMENT

BLOCK 16, LOT 1.03 - TAX MAP SHEET 3

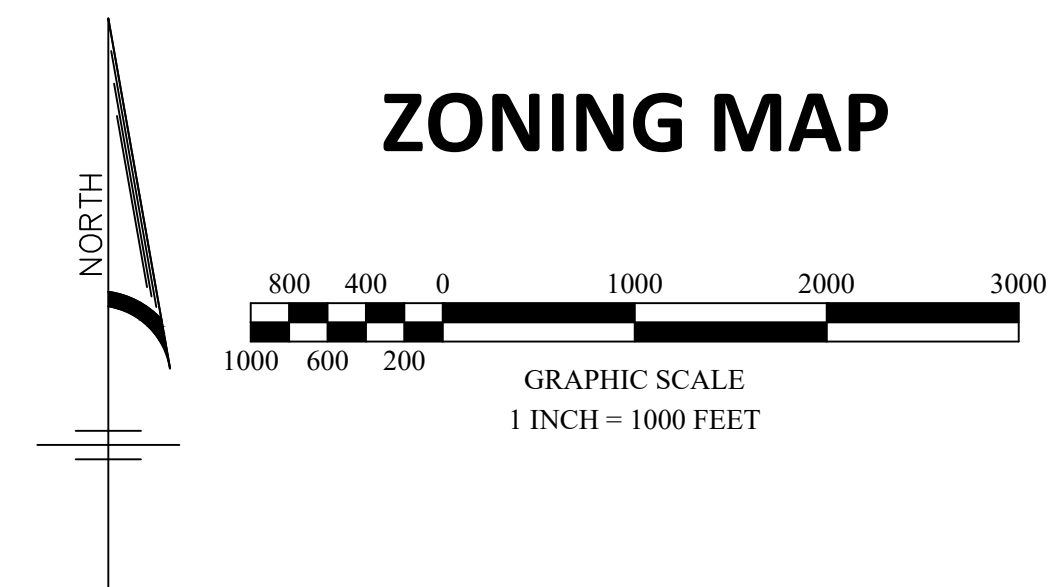
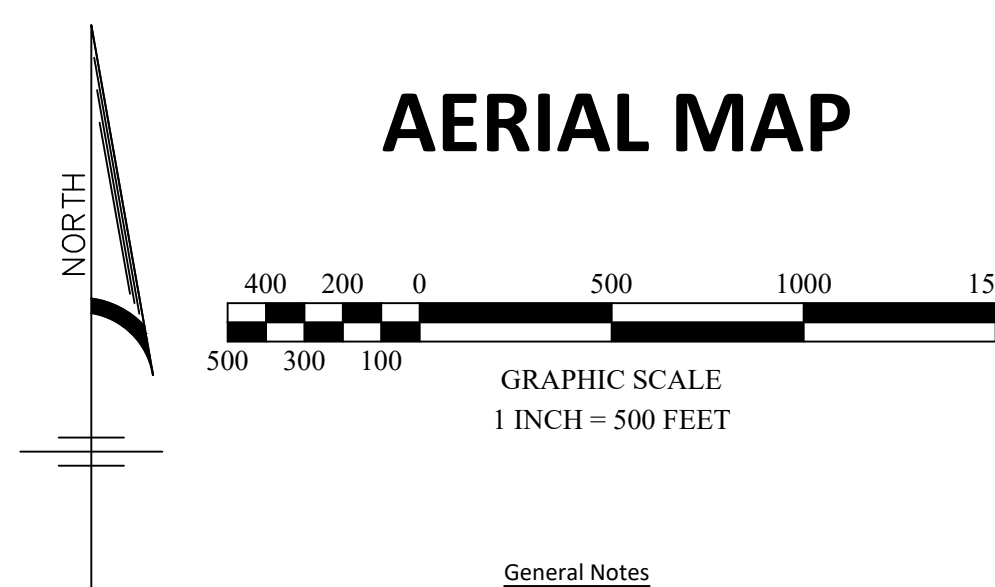
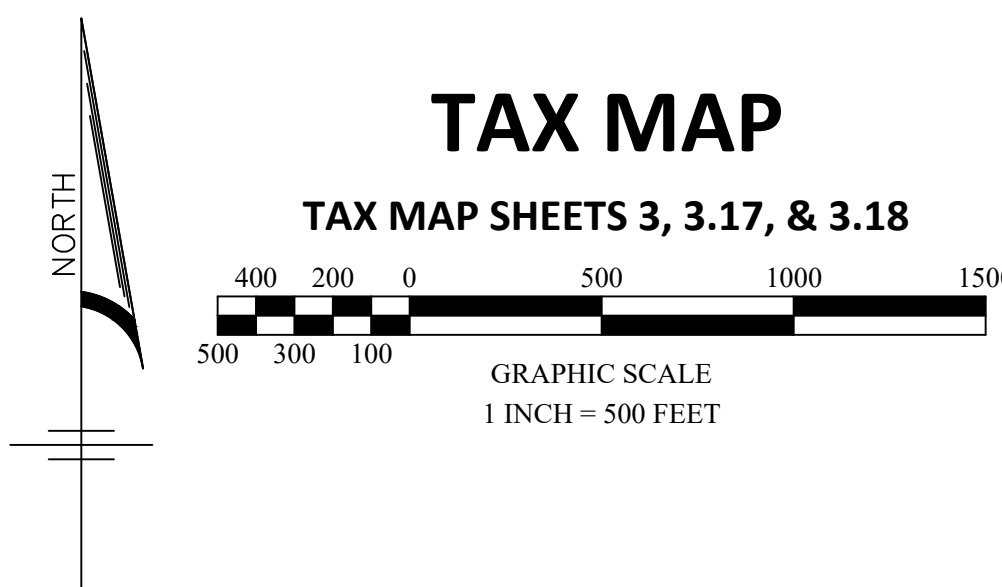
501 EVESBORO-MEDFORD ROAD (C.R. 618)

TOWNSHIP OF EVESHAM, BURLINGTON COUNTY, NEW JERSEY



UTILITY CONTACTS

Evesham Municipal Utility Authority 100 Sharp Road Marlton, NJ 08053	Connectiv Real Estate Department 5100 Harding Highway, Suite 399 Mays Landing, NJ 08330
Public Service Electric & Gas Manager-Corporate Properties 80 Park Plaza, TGB Newark, NJ 07102	Comcast Cable TV P.O. Box 5025 Cherry Hill, NJ 08034
Verizon NJ PO Box 2749 Addison, TX 75001	South Jersey Gas 1 So. Jersey Plaza, Route 54 Folsom, NJ 08037



DRAWING INDEX

No.	Description	Revision Date
1.	TITLE SHEET	05/18/2026
2.	OVERALL EXISTING CONDITIONS PLAN	ORIGINAL SUBMISSION
3.	EXISTING CONDITIONS PLAN	05/18/2026
4.	LAYOUT PLAN	05/18/2026
5.	GRADING PLAN	05/18/2026
6.	UTILITY PLAN	05/18/2026

Parking Table			
Unit Type	Units	Spaces Required	Spaces Proposed
Garden Apartment (RIS - maximum)			
1-Bedroom (1.8 spaces / unit)	54	97	
2-Bedroom (2.0 spaces / unit)	3	6	
SUBTOTAL (for reference only)	57	103	
Garden Apartment (RCRE)			
1-Bedroom (1.0 spaces / unit)	54	54	
2-Bedroom (1.5 spaces / unit)	3	5	
SUBTOTAL	57	59	59
Evesham Township §160-32A.			
Retail Shopping Center			
4.5 spaces per 1,000 SF GFA	2,600 SF	12	13
TOTAL (RCRE + Retail)		71	72

Aristone Tract and DPW Site Redevelopment Plan - Zoning Schedule				
501 Evesboro-Medford Road - Block 16, Lot 1.03				
	Required	Existing	Proposed	Complies
Use ¹	Multi-family / Commercial / Retail / Mixed Use	Former DPW Site	Multi-family / Commercial / Retail / Mixed Use	Yes
Minimum Tract Size	5 AC	± 5.38 AC	± 5.06 AC ²	Yes
Minimum Lot Width	200 Ft	651 Ft	No Change	Yes
Minimum Street Frontage	400 Ft	713 Ft	No Change	Yes
Minimum Lot Depth	300 Ft	316 Ft	309 Ft ²	Yes
Maximum Residential Density	26 Units / Acre	N/A	14.7 Units / Acre ²	Yes
Minimum Inclusionary Affordable Units	15% (Rental) 20% (For Sale)	N/A	100%	Yes
Minimum Side Yard	30 Ft	14.5 Ft	60 Ft	Yes
Minimum Front Yard Setback	65 Ft	23.0 Ft	79 Ft ²	Yes
Minimum Rear Yard Setback	30 Ft	107.2 Ft	31 Ft	Yes
Maximum Building Length	300 Ft	195 Ft	289 Ft	Yes
Maximum Building Footprint Area	40,000 SF	23,488 SF	17,900 SF	Yes
Minimum Front Yard Parking	50 Ft	N/A	51.6 Ft ²	Yes
Minimum Side Yard Pavement and Parking Setback	15 Ft	±53 Ft	40.9 Ft	Yes
Minimum Rear Yard Pavement and Parking Setback	10 Ft	0 Ft	114.7 Ft	Yes
Maximum Impervious	65%	65%	33% ²	Yes
Maximum Building Height	55 Ft	±33 Ft	41.2 Ft	Yes
Maximum Building Height	4 Stories	3 Stories	3 Stories	Yes
Minimum Building Setback from Another Building on the Same Site	25 Ft	117 Ft	251 Ft	Yes
Maximum Floor Area Ratio	0.6	0.14	0.26 ²	Yes

1. Rutgers Center for Real Estate, Table 1.
2. Based on the 2010 ADA Standards for Accessible Design, three (3) ADA spaces are required (for the range of 51 - 75 spaces provided), one (1) of which is required to be van accessible. Five (5) ADA spaces are provided, all of which are van accessible.
3. Multifamily housing developments must designate 15% of off-street parking as EV make-ready spaces. Prior to occupancy, EVCS must be installed in 5% of spaces, plus 5% within 3 years and another 5% within 6 years. Four (4) EVCS are proposed at this time (1 of which is ADA accessible), with an additional seven (7) designated as make-ready.
4. A parking space with an EV charging station or make-ready equipment may count as two parking spaces for the purpose of complying with a minimum parking space requirement but may not reduce total required parking by more than 10 percent. However, due to the proposed reduced RCRE-based parking requirement, no such credit is claimed.

General Notes

- Site is known and designated as Block 16; Lot 1.03, as shown on the current tax assessment map of the Township of Evesham, Burlington County, New Jersey (Sheet 3).
- Lot information & topography based upon survey titled "Existing Conditions Survey of Block 16, Lot 1.03, 501 Evesboro-Medford Road, Evesham Township, Burlington County, N.J.", prepared by Patterson Surveying & Engineering, LLC, dated 03/30/26.
- Site coordinates: 388,376' N, 389,654' E
- Vertical datum: NAVD 88 Horizontal datum NAD83
- In accordance with state law, the contractor is required to call the board of public utilities one call damage protection system or utility mark out in advance of any excavation.
- All work shall be performed in accordance with these plans and specifications. Additionally, all work shall also comply with applicable State, Federal, and Local codes and all necessary licenses and permits shall be obtained by the contractor at his expense unless previously obtained by the owner/developer. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor.
- The contractor shall notify all agencies having jurisdiction at least 72 hours in advance of any work.
- Unless otherwise indicated, all materials and methods of construction shall conform to the New Jersey Department of Transportation Standard Specification for Road and Bridge Construction, latest edition.
- All traffic control devices within the right-of-way to be constructed and installed in accordance with "The Manual on Uniform Traffic Control Devices", latest edition.
- The contractor is directed to the fact that the approximate locations of known utility structures and facilities that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other potential conflict prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design. The contractor shall verify locations of existing utilities and all other site conditions prior to beginning construction.



APPROVED BY THE EVESHAM TOWNSHIP PLANNING BOARD AS A PRELIMINARY MAJOR SITE PLAN:

CHAIRMAN _____
SECRETARY _____
ENGINEER _____

DATE	REVISIONS	BY
05/18/26	ADD TWO UNITS: 55 TO 57	MVV
05/07/26	REMOVE 4TH STORY	DAC

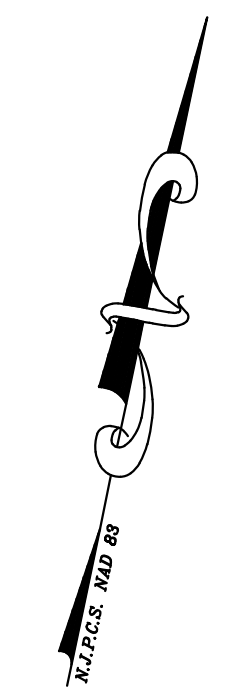
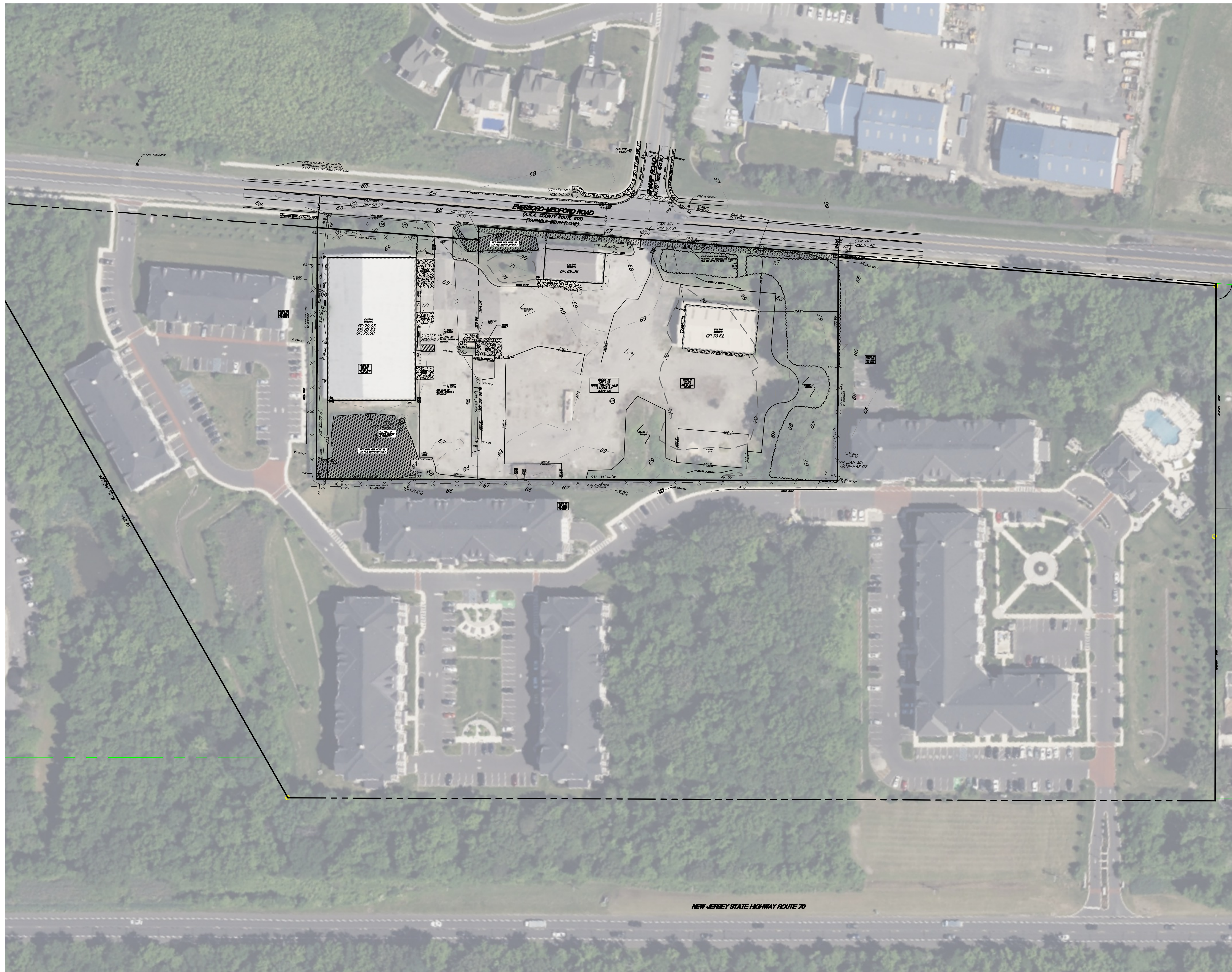
SHORE POINT ENGINEERING
Certificate of Authorization No. 24GA28317800
Kevin E. Shelly P.E., PE No. GE05031300
PO Box 257, Manasquan, NJ 08736
T: 732-924-8100 | F: 732-924-8110
www.shorepointengineering.com

Michael V. Weseloski Date: 05/18/26
Michael V. Weseloski, P.E.
PROFESSIONAL ENGINEER
N.J. Lic. No. 24GE04877990

**PRELIMINARY MAJOR SITE PLAN
FORMER DPW REDEVELOPMENT**
BLOCK 16, LOT 1.03 - TAX MAP SHEET 3
501 EVESBORO-MEDFORD ROAD (C.R. 618)
SITUATED IN
EVESHAM TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY

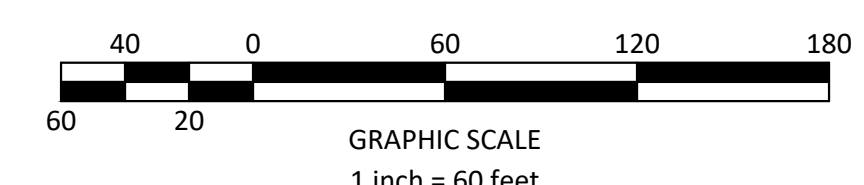
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RELEASED BY: MVW	DATE: 05/01/26
CHECKED BY: MVW	Sheet Number 1 OF 6
DRAWN BY: MVW	

File Name: C:\Users\MichaelWeseloski\OneDrive - Shore Point Engineering\Clients\Rock Fields - Evesham\DWG\02-Ex Cond.dwg
 Plot time: Apr 30, 2026 - 3:45pm



LEGEND

- PROJECT BOUNDARY
- EXISTING BUILDING
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER LINE
- EXISTING TYPE 'A' INLET
- EXISTING TYPE 'B' INLET
- EXISTING TYPE 'E' INLET
- EXISTING MANHOLE/STORM GRATE
- EXISTING DOWNSPOUT
- EXISTING WATER LINE
- EXISTING WATER VALVE
- EXISTING SPRINKLER BOX
- EXISTING WATER METER PIT
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING GAS LINE
- EXISTING GAS VALVE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE W/ LIGHT
- EXISTING FENCELINE
- EXISTING GUIDERAIL
- EXISTING LIGHT POLE
- EXISTING SIGNAGE
- EXISTING WETLANDS
- WETLANDS BUFFER
- FLOOD HAZARD LINE



DATE	REVISIONS	BY

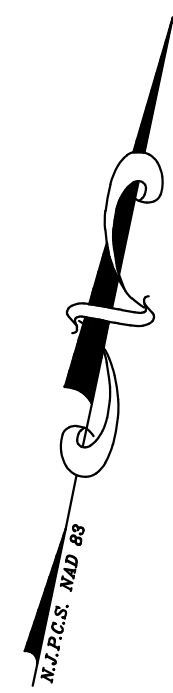
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Michael V. Weseloski Date: 05/01/26
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PRELIMINARY/FINAL MAJOR SITE PLAN
FORMER DPW REDEVELOPMENT
 BLOCK 16, LOT 1.03 - TAX MAP SHEET 3
 501 EVESBORO-MEDFORD ROAD (C.R. 618)
 SITUATED IN
 EVESHAM TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY

OVERALL EXISTING CONDITIONS PLAN

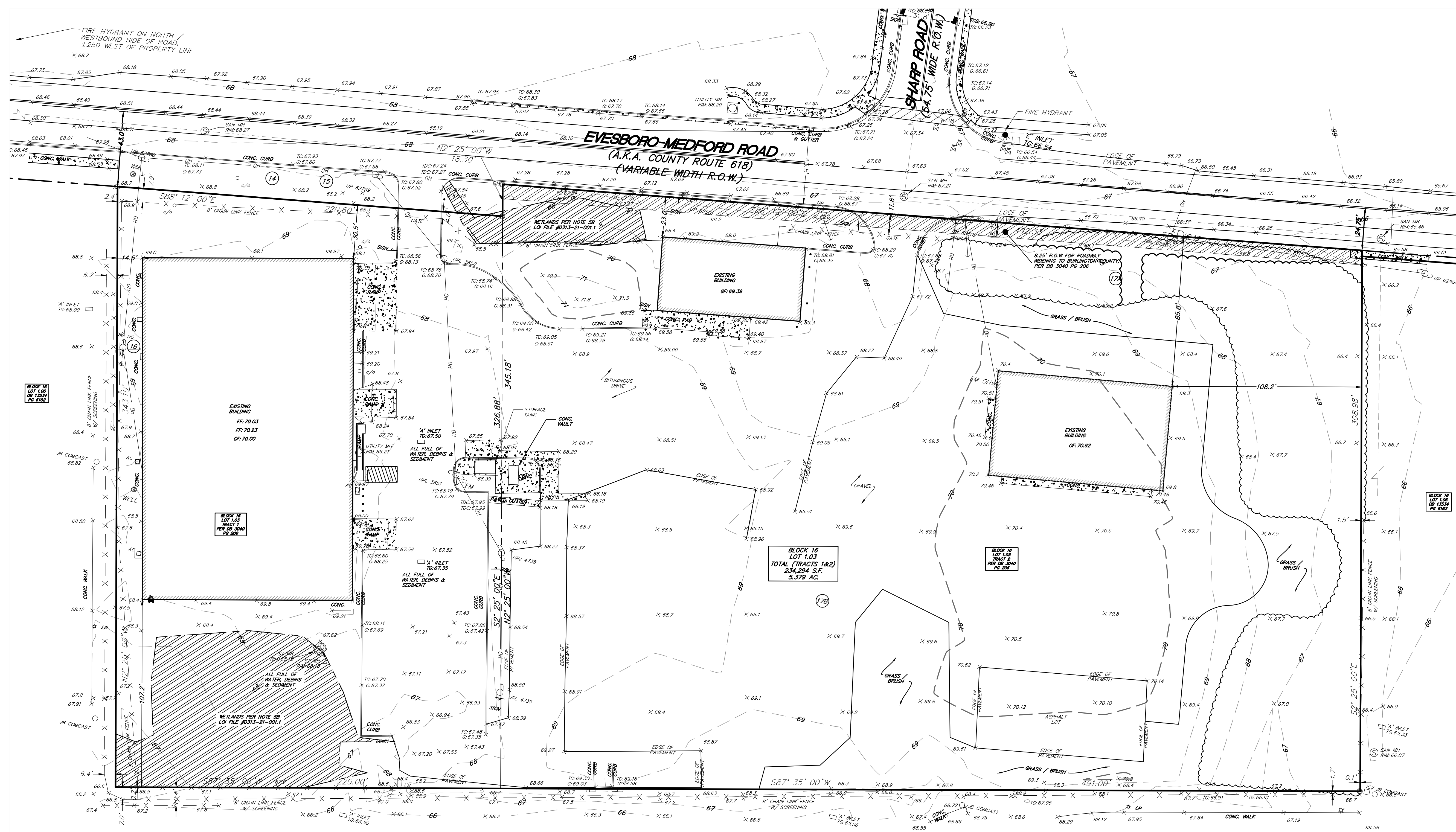
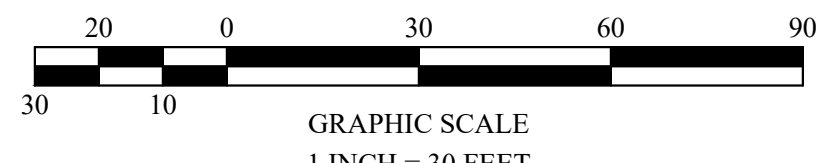
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RELEASED BY: MVW	DATE: 05/01/26
CHECKED BY: MVW	Sheet Number 2 OF 6
DRAWN BY: MVW	



- Existing Conditions Notes**
- Site is known and designated as Block 16; Lot 1.03, as shown on the current tax assessment map of the Township of Evesham, Burlington County, New Jersey (Sheet 3).
 - Lot information & topography based upon survey titled "Existing Conditions Survey of Block 16, Lot 1.03, 501 Evesboro-Medford Road, Evesham Township, Burlington County, N.J.", prepared by Patterson Surveying & Engineering, LLC, dated 03/30/26.
 - Freshwater wetlands shown per NJDEP FWL File No. 0313-21-0001.1 FWL210001, dated November 18, 2021.
 - According to FEMA Flood Insurance Rate Map Number 34005C0263F, with an effective date of December 21, 2017, the property lies within Zone X, areas of minimal flood hazard.
 - Site coordinates: 388,376' N, 389,654' E
 - Vertical datum: NAVD 88 Horizontal datum NAD83
 - In accordance with state law, the contractor is required to call the board of public utilities one call damage protection system or utility mark out in advance of any excavation.
 - The contractor is directed to the fact that the approximate locations of known utility structures and facilities that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other potential conflict prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design. The contractor shall verify locations of existing utilities and all other site conditions prior to beginning construction.

LEGEND

- PROJECT BOUNDARY
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DATE	REVISIONS	BY

SHORE POINT ENGINEERING

Certificate of Authorization No. 24GA28317800
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FORMER DPW REDEVELOPMENT
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 501 EVESBORO-MEDFORD ROAD (C.R. 618)
 SITUATED IN
 EVESHAM TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY

EXISTING CONDITIONS PLAN	
SCALE: 1"=30'	PROJECT No.: RFG-251
RELEASED BY: MVW	DATE: 05/01/26
CHECKED BY: MVW	Sheet Number 3 OF 6
DRAWN BY: MVW	



Layout Notes

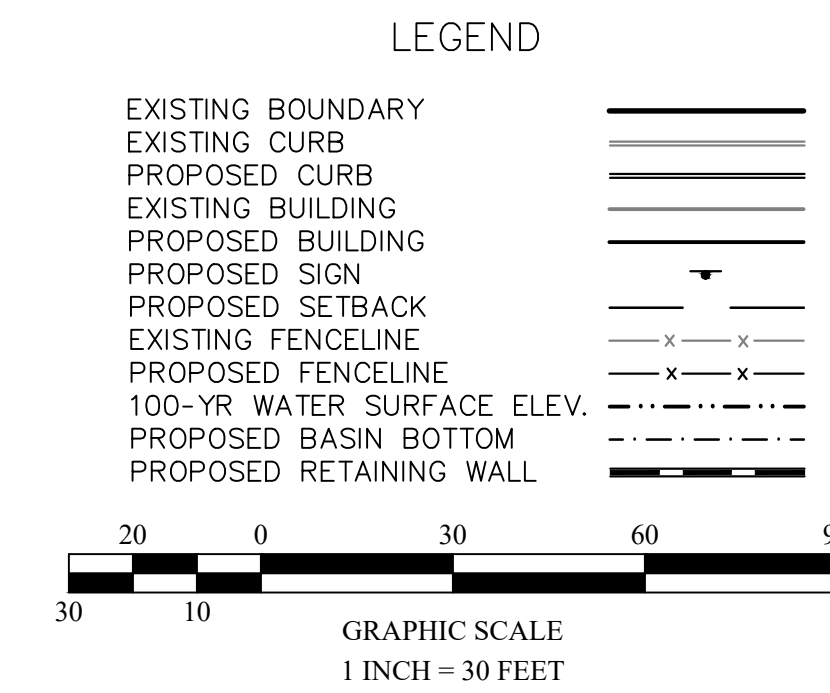
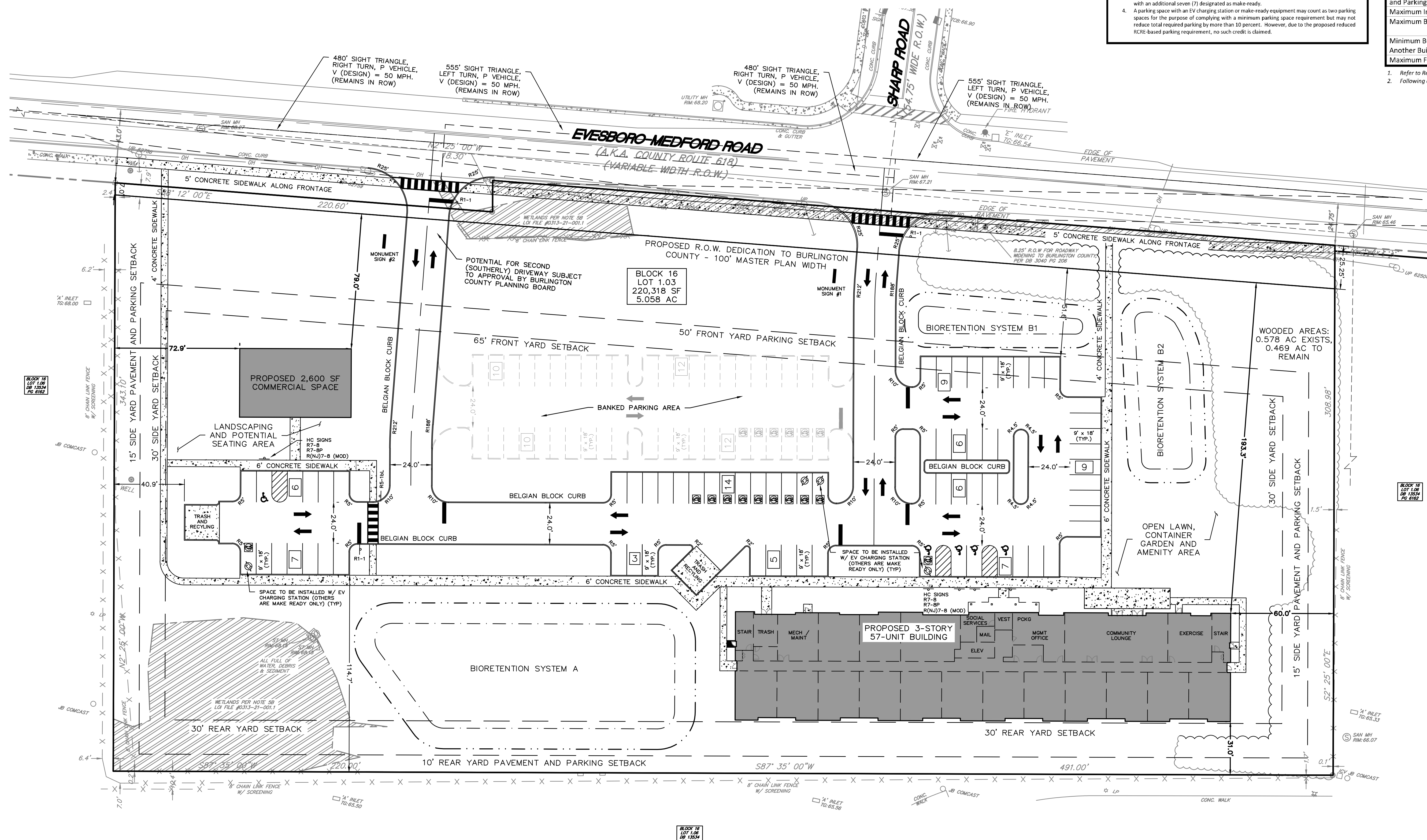
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- All traffic control devices within the right-of-way to be constructed and installed in accordance with "The Manual on Uniform Traffic Control Devices", latest edition.
- All curb and sidewalks shall conform to State and Federal barrier free design standards.
- All connections with existing concrete or asphalt to be saw cut unless otherwise directed by the owner.
- Sidewalk/walkway risers must be greater than 4" and less than 7".
- See architect's plans for building elevations and floor plans.

Unit Type	Parking Table		
	Units	Spaces Required	Spaces Proposed
Garden Apartment (RSIS - maximum)			
1-Bedroom (1.8 spaces / unit)	54	97	
2-Bedroom (2.0 spaces / unit)	3	6	
SUBTOTAL (for reference only)	57	103	
Garden Apartment (RCRE ¹)			
1-Bedroom (1.0 spaces / unit)	54	54	
2-Bedroom (1.5 spaces / unit)	3	5	
SUBTOTAL	57	59	59
Evesham Township §160-32A			
Retail Shopping Center			
4.5 spaces per 1,000 SF GFA	2,600 SF	12	13
TOTAL (RCRE + Retail)		71	72

1. Rutgers Center for Real Estate Table 1.
 2. Based on the 2010 ADA Standards for Accessible Design, three (3) ADA spaces are required (for the range of 51 - 75 spaces provided), one (1) of which is required to be van accessible. Five (5) ADA spaces are provided, all of which are van accessible.
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Aristone Tract and DPW Site Redevelopment Plan - Zoning Schedule				
501 Evesboro-Medford Road - Block 16, Lot 1.03				
	Required	Existing	Proposed	Complies
Use ¹	Multi-family / Commercial / Retail / Mixed Use	Former DPW Site	Multi-family / Commercial / Retail / Mixed Use	Yes
Minimum Tract Size	5 AC	± 5.38 AC	± 5.06 AC ²	Yes
Minimum Lot Width	200 Ft	651 Ft	No Change	Yes
Minimum Street Frontage	400 Ft	713 Ft	No Change	Yes
Minimum Lot Depth	300 Ft	316 Ft	309 Ft ²	Yes
Maximum Residential Density	26 Units / Acre	N/A	14.7 Units / Acre ²	Yes
Minimum Inclusionary Affordable Units	15% (Rental)	N/A	100%	Yes
Minimum Side Yard	30 Ft	14.5 Ft	60 Ft	Yes
Minimum Front Yard Setback	65 Ft	23.0 Ft	79 Ft ²	Yes
Minimum Rear Yard Setback	30 Ft	107.2 Ft	31 Ft	Yes
Maximum Building Length	300 Ft	195 Ft	289 Ft	Yes
Maximum Building Footprint Area	40,000 SF	23,488 SF	17,900 SF	Yes
Minimum Front Yard Parking Setback	50 Ft	N/A	51.6 Ft ²	Yes
Minimum Side Yard Pavement and Parking Setback	15 Ft	±53 Ft	40.9 Ft	Yes
Minimum Rear Yard Pavement and Parking Setback	10 Ft	0 Ft	114.7 Ft	Yes
Maximum Impervious	65%	65%	33% ²	Yes
Maximum Building Height	55 Ft	±33 Ft	41.2 Ft	Yes
Minimum Building Setback from Another Building on the Same Site	25 Ft	117 Ft	251 Ft	Yes
Maximum Floor Area Ratio	0.6	0.14	0.26 ²	Yes

1. Refer to Redevelopment Plan Section III.C.3. for complete list of permitted uses.
 2. Following anticipated R.O.W. dedication to Burlington County.



DATE	REVISIONS	BY
05/18/26	ADD TWO UNITS: 55 TO 57	MVW
05/07/26	REMOVE 4TH STORY	DAC

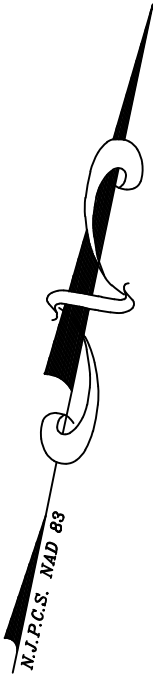
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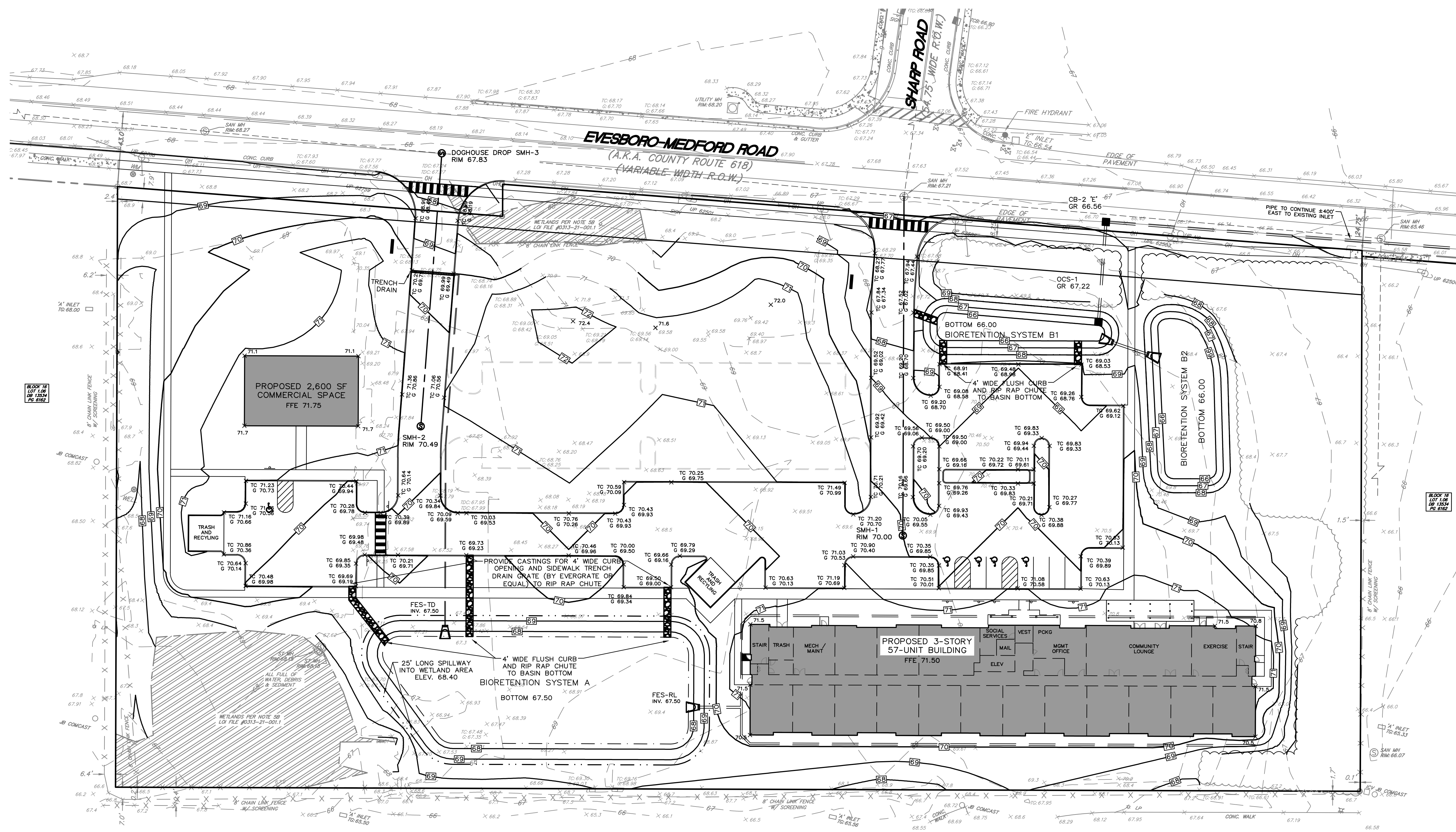
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 SITUATED IN
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LAYOUT PLAN	
SCALE: 1"=30'	PROJECT No.: RFG-251
RELEASED BY: MVW	DATE: 05/01/26
CHECKED BY: MVW	Sheet Number 4 OF 6
DRAWN BY: MVW	



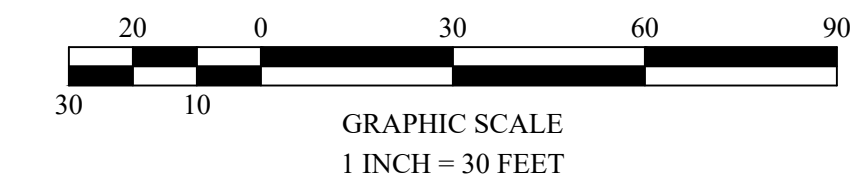
Grading Notes

- See architect's plans for building elevations and floor plans. Finished floor elevations, doorway locations and elevations and adjacent grade shall be confirmed, by the contractor, with architectural plans prior to construction and final grading.
- All curb and sidewalks shall conform to State and Federal barrier free design standards. ADA compliant handicapped ramps to be provided along handicapped parking stalls. All walkways to have a maximum cross slope of 2% and a maximum running slope of 5% unless otherwise noted. Sidewalk / walkway risers must be greater than 4" and less than 7" and must be uniform. All proposed curbing shall have a 6" reveal, unless otherwise noted.
- Site grading shall be performed in accordance with these plans and specifications. The contractor is responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials at the discretion of the geotechnical engineer.
- The contractor shall adjust and cut existing pavement as needed to ensure smooth fit and continuous grade along curb and pavement transitions.
- The bottom of curb elevations for proposed curb replacement shall match existing pavement elevations, unless otherwise specified.
- Positive drainage to be maintained from all buildings in accordance with applicable regulations and building code. In accordance with State law, the contractor is required to call the Board of Public Utilities One Call Damage Protection System or utility mark out in advance of any excavation.
- Unless otherwise indicated, all materials and methods of construction shall conform to the New Jersey Department of Transportation Standard Specification for Road and Bridge Construction, latest edition.
- All traffic control devices within the right-of-way to be constructed and installed in accordance with "The Manual on Uniform Traffic Control Devices", latest edition.
- All work shall be performed in accordance with these plans and specifications. Additionally, all work shall also comply with applicable State, Federal, and Local codes and all necessary licenses and permits shall be obtained by the contractor at his expense unless previously obtained by the owner/developer. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor.
- The contractor shall practice extreme caution during any demolition, clearing or grading activities along property lines and neighboring properties shall be protected at all time during construction. The contractor shall be responsible for any damage caused to neighboring properties during construction.



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER LINE
- EXISTING INLET
- PROPOSED INLET
- PROPOSED MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED BASIN BOTTOM
- 100-YR WATER SURFACE ELEV.



DATE	REVISIONS	BY
05/18/26	ADD TWO UNITS: 55 TO 57	MVW
05/07/26	REMOVE 4TH STORY	DAC



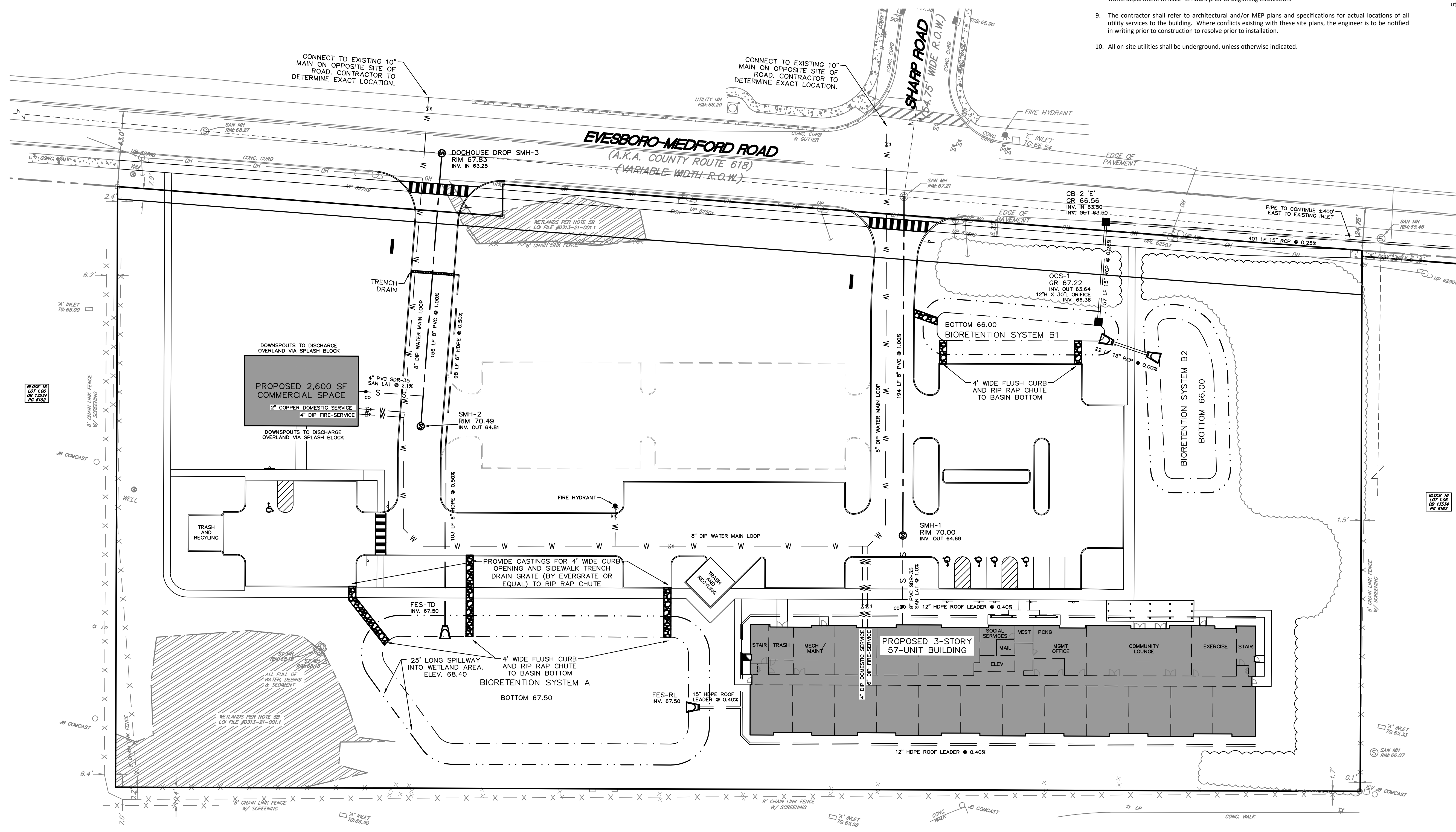
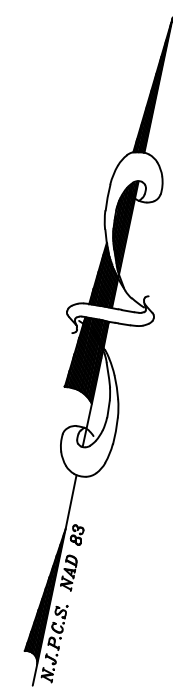
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www.shorepointengineering.com

Michael V. Weseloski Date: 05/18/26
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PROFESSIONAL ENGINEER
N.J. Lic. No. 24GE048779900

PRELIMINARY MAJOR SITE PLAN
FORMER DPW REDEVELOPMENT
BLOCK 16, LOT 1.03 (TAX MAP SHEET 3)
501 EVESBORO-MEDFORD ROAD (C.R. 618)
SITUATED IN
EVESHAM TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY

GRADING PLAN	
SCALE: 1"=30'	PROJECT No.: RFG-251
RELEASED BY: MVW	DATE: 05/01/26
CHECKED BY: MVW	Sheet Number 5 OF 6
DRAWN BY: MVW	

File Name: C:\Users\MichaelWeseloski\OneDrive - Shore Point Engineering\Clients\Rock Fields - Evesham\DWG\05-Utility.dwg Plot time: May 18, 2026 - 3:28pm

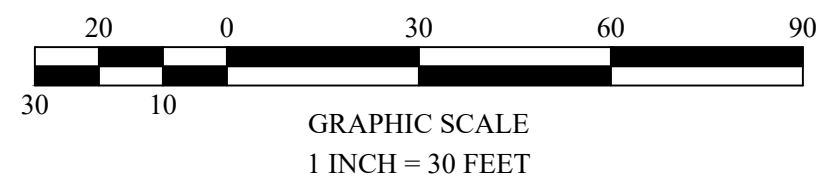
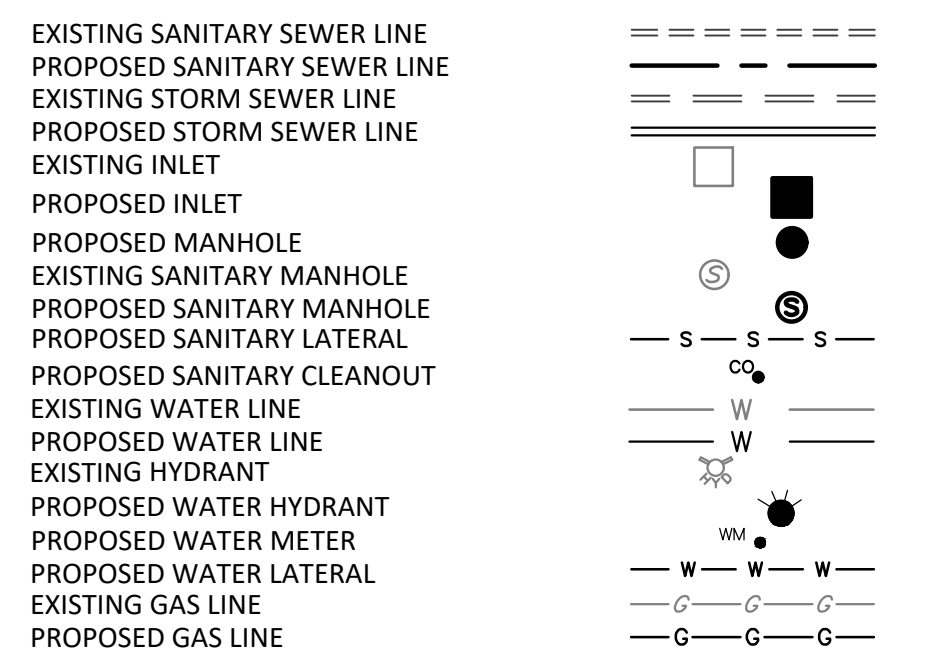


Utility Notes

- In accordance with state law, the contractor is required to call the Board of Public Utilities One Call Damage Protection System or utility mark out in advance of any excavation.
- All work shall be performed in accordance with these plans and specifications. Additionally, all work shall also comply with applicable State, Federal, and Local codes and all necessary licenses and permits shall be obtained by the contractor at his expense unless previously obtained by the owner/developer. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor.
- The contractor shall notify all agencies having jurisdiction at least 72 hours in advance of any work.
- Unless otherwise indicated, all materials and methods of construction shall conform to the New Jersey Department of Transportation Standard Specification for Road and Bridge Construction, latest edition.
- All traffic control devices within the right-of-way to be constructed and installed in accordance with "The Manual on Uniform Traffic Control Devices", latest edition.
- The contractor is directed to the fact that the approximate locations of known utility structures and facilities that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other potential conflict prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design. The contractor shall verify locations of existing utilities and all other site conditions prior to beginning construction.
- The contractor must verify the location, size and condition of existing water mains and sanitary sewer mains prior to beginning any utility work.
- The contractor shall be responsible for notifying the utility companies, inspecting engineer and/or public works department at least 48 hours prior to beginning excavation.
- The contractor shall refer to architectural and/or MEP plans and specifications for actual locations of all utility services to the building. Where conflicts existing with these site plans, the engineer is to be notified in writing prior to construction to resolve prior to installation.
- All on-site utilities shall be underground, unless otherwise indicated.

- All drainage, sanitary sewer and water main piping shall maintain a minimum of ten (10) feet from building foundations and other structures, unless otherwise indicated.
- Drainage and sanitary sewer pipes shall be laid on straight alignments and even grades using a pipe laser or other appropriate method for accuracy. Contractor shall install drainage and sanitary sewer pipes starting on the downstream end and work upstream.
- All water and sewer facilities shall be constructed in accordance with the regulatory authority's rules and regulations.
- The contractor shall maintain 18" of vertical separation and 10' of horizontal separation between water and sanitary sewer piping. Where such clearances are not possible, the sewer shall be encased in concrete or constructed of DIP using mechanical slip-on-joints for a distance of at least 10' on either side of the crossing.
- The contractor shall maintain a minimum cover of 4' over all water lines and 3' over all sanitary sewer lines.
- All water main shall be cement-lined, Class 52 ductile iron pipe, unless otherwise indicated.
- Manufactured reinforced concrete storm pipe to conform to ASTM C-76, Class III, unless otherwise indicated and shall be installed in accordance with American Concrete Pipe Association installation guidelines.
- All storm pipes and structures shall be HS-25 loading pipe.
- Pipe lengths indicated are measured center to center of each structure.
- The contractor shall submit shop drawings for all drainage, water and sanitary sewer improvements for review and approval prior to purchasing.
- Any location and layout of gas, electric and telecommunication utilities and services shown on these plans are schematic in nature. Actual location and layout of these utilities shall be coordinated with the servicing utility company.

LEGEND



DATE	REVISIONS	BY
05/18/26	ADD TWO UNITS: 55 TO 57	MVW
05/07/26	REMOVE 4TH STORY	DAC

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Michael V. Weseloski Date: 05/18/26
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UTILITY PLAN	
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