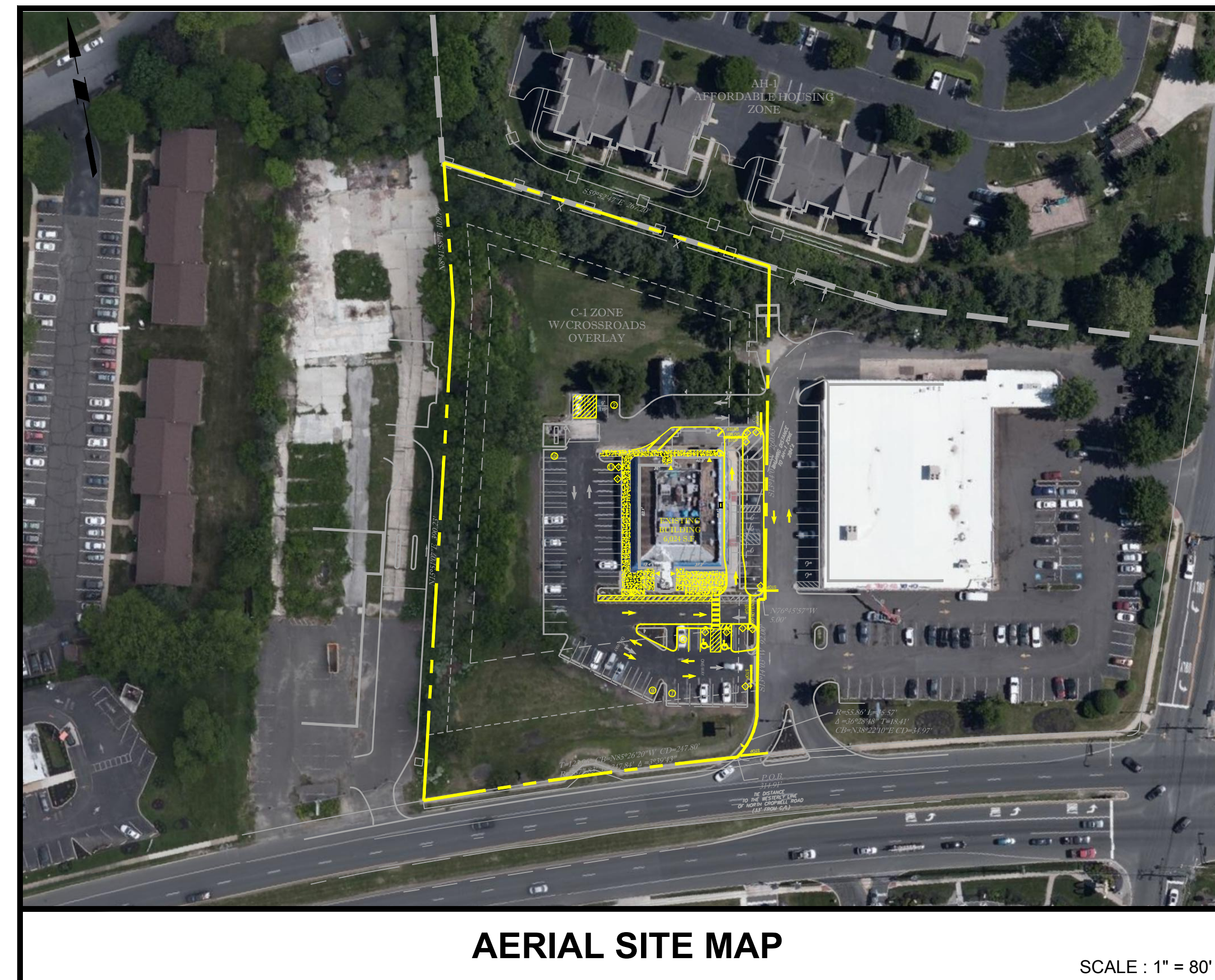
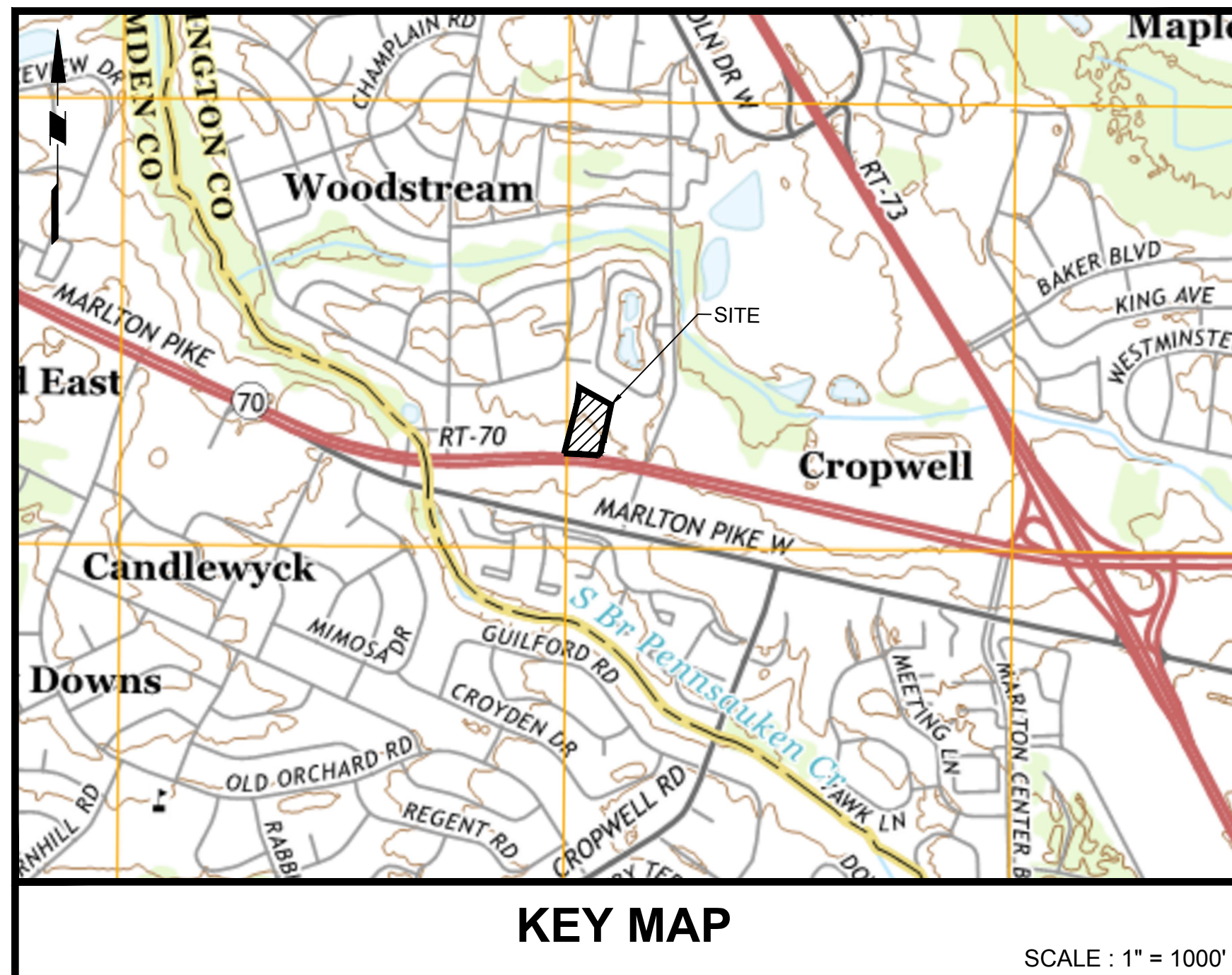


ENLIGHTEN HEALTH AND WELLNESS, ADAPTIVE REUSE OF MARLTON DINER AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN

BLOCK 3, LOT 2.02
TOWNSHIP OF EVESHAM, BURLINGTON COUNTY, NEW JERSEY




Drawing Index			
Drawing No.	Drawing No.	Drawing Title	Last Revised
1	GI-001	Cover Sheet	1/28/2025
2	GI-101	General Land Use Plan	1/28/2025
3	CS-101	Site Plan	1/28/2025
4	CS-102	Site Improvements Plan	1/28/2025
5	LP-101	Lighting & Landscape Plan and Details	1/28/2025
6	CS-501	Construction Details	1/28/2025
7	CS-502	Construction Details	1/28/2025

Supplemental Drawings:
1. Enlighten Evesham Dispensary proposed Floor Plan

PROJECT SITE:
EVESHAM TOWNSHIP TAX MAP - BLOCK 3 LOT 2.02
EVESHAM TOWNSHIP ZONING DISTRICT - C1 WITH EVESHAM CROSSROADS OVERLAY
LOT AREA = 2.54 ± ACRES (110,912 SF)

CONTACT LIST	
EVESHAM TOWNSHIP ADMINISTRATION OFFICE 984 TUCKERTON ROAD MARLTON, NJ 08053 (856) 983-2900	WATER & SEWER EVESHAM MUNICIPAL UTILITIES AUTHORITY Mr. JEFFREY BOOTH - EXECUTIVE DIRECTOR 984 TUCKERTON ROAD MARLTON, NJ 08053 (856) 983-2900
MAYOR Ms. JACLYN VEASY	EVESHAM TOWNSHIP MUA ENGINEER Mr. CRAIG CONNOLLY ALAIMO GROUP 200 HIGH STREET MOUNT HOLLY, NJ 08064 (609) 267-8310
TOWNSHIP CLERK Ms. MARY LOU BERGH	GAS AND ELECTRIC PUBLIC SERVICE ELECTRIC & GAS Mr. BOB BRENNALDI 300 NEW ALBANY ROAD MOORESTOWN, NJ 08057 (856) 778-6842
FIRE SERVICE EVESHAM FIRE RESCUE CARL BITTENBENDER, FIRE CHIEF P.O. BOX 276 984 TUCKERTON ROAD MARLTON, NJ 08053 (856) 983-2750	TELEPHONE & CABLE VERIZON Mr. RYAN LOCHONIC 540 BROAD STREET NEWARK, NJ 07101 (856) 306-8599
POLICE SERVICE EVESHAM POLICE DEPARTMENT Mr. WALT MILLER - CHIEF OF POLICE 984 TUCKERTON ROAD MARLTON, NJ 08053 (856) 983-1116	COMCAST Mr. KEVIN GIFFINS (856) 699-0139 kevin.giffins@cable.comcast.com
BURLINGTON COUNTY PLANNING BOARD Mr. NELSON WIEST, CHAIRPERSON JOSEPH BRICKLEY, ENGINEER 1900 BRIGGS ROAD MT. LAUREL, NJ 08054 (856) 642-3800	BURLINGTON COUNTY CONSERVATION DISTRICT GHNA BERG, CHAIR ROBERT REITMEYER, DISTRICT MANAGER 1971 JACKSONVILLE - JOBSTOWN ROAD COLUMBUS, NJ 08022 (609) 267-7410
NEW JERSEY DOT 1035 PARKWAY AVENUE TRENTON, NJ 08625 (856) 482-6550	

OWNER:
Marlton Real Estate Management LLC
c/o RD Management
810 Seventh Avenue
10th Floor
New York, NY 10019
Phone: 212.265.6600
Fax: 212.459.9133
ATTN: Richard Birdoff

CIVIL ENGINEER:
 **arna Engineering Inc.**
1456 Ferry Road, Suite 603
Doylestown, PA 18901
Phone: 215.766.8280
Fax: 215.434.5280
ATTN: Chirag V. Thakkar, P.E.

APPLICANT:
Enlighten Health & Wellness LLC
c/o RD Management
810 Seventh Avenue
10th Floor
New York, NY 10019
Phone: 212.265.6600
Fax: 212.459.9133
ATTN: Richard Birdoff

SURVEYOR:
CPL Partnership, LLC
95 Matawan Road, Second floor
Matawan, NJ 07747
Phone: 732.566.0297
ATTN: Richard G. Ruchalski, P.L.S.

I ACKNOWLEDGE THAT I AM THE OWNER OF THIS TRACT AND DO HEREBY CONSENT TO THE FILING OF THIS MAP.

MARLTON REAL ESTATE MANAGEMENT, LLC
PROPERTY OWNER

THESE SITE PLANS ARE HEREBY APPROVED BY THE TOWNSHIP OF EVESHAM PLANNING BOARD.

CHAIRPERSON _____ DATE _____

SECRETARY _____ DATE _____

MUNICIPAL CLERK _____ DATE _____

ENGINEER _____ DATE _____

CALL BEFORE YOU DIG
IN NJ, TOLL FREE
1-800-272-1000
FOR FREE MARKOUTS TO LOCATE
UNDERGROUND UTILITIES
"IT'S THE LAW"
GARDEN STATE UNDERGROUND PLANT LOCATION SERVICE, INC.

5.	JANUARY 28, 2025
4.	APRIL 04, 2023
3.	DECEMBER 15, 2022
2.	SEPTEMBER 20, 2022
1.	AUGUST 10, 2022

Drawing Title
GI-001
Sheet 1 OF 7

Project
**ENLIGHTEN HEALTH
AND WELLNESS,
ADAPTIVE REUSE OF
MARLTON DINER**

Block No. 3
Lot No. 2.02
Evesham Township
Burlington County, New Jersey

Drawing Title

**GENERAL LAND
USE PLAN**

CHIRAG V. THAKKAR, P.E.
PROFESSIONAL ENGINEER
N.J. Lic. No. 24GE04451600

01-28-25 REVISED PLAN 4.

04-04-23 REVISED PLAN 3.

12-15-22 REVISED PLAN 2.

09-20-22 REVISED PLAN 1.

DATE COMMENTS NO.

REVISIONS

Project No. 230017901

Date 08/10/2022

Scale AS SHOWN

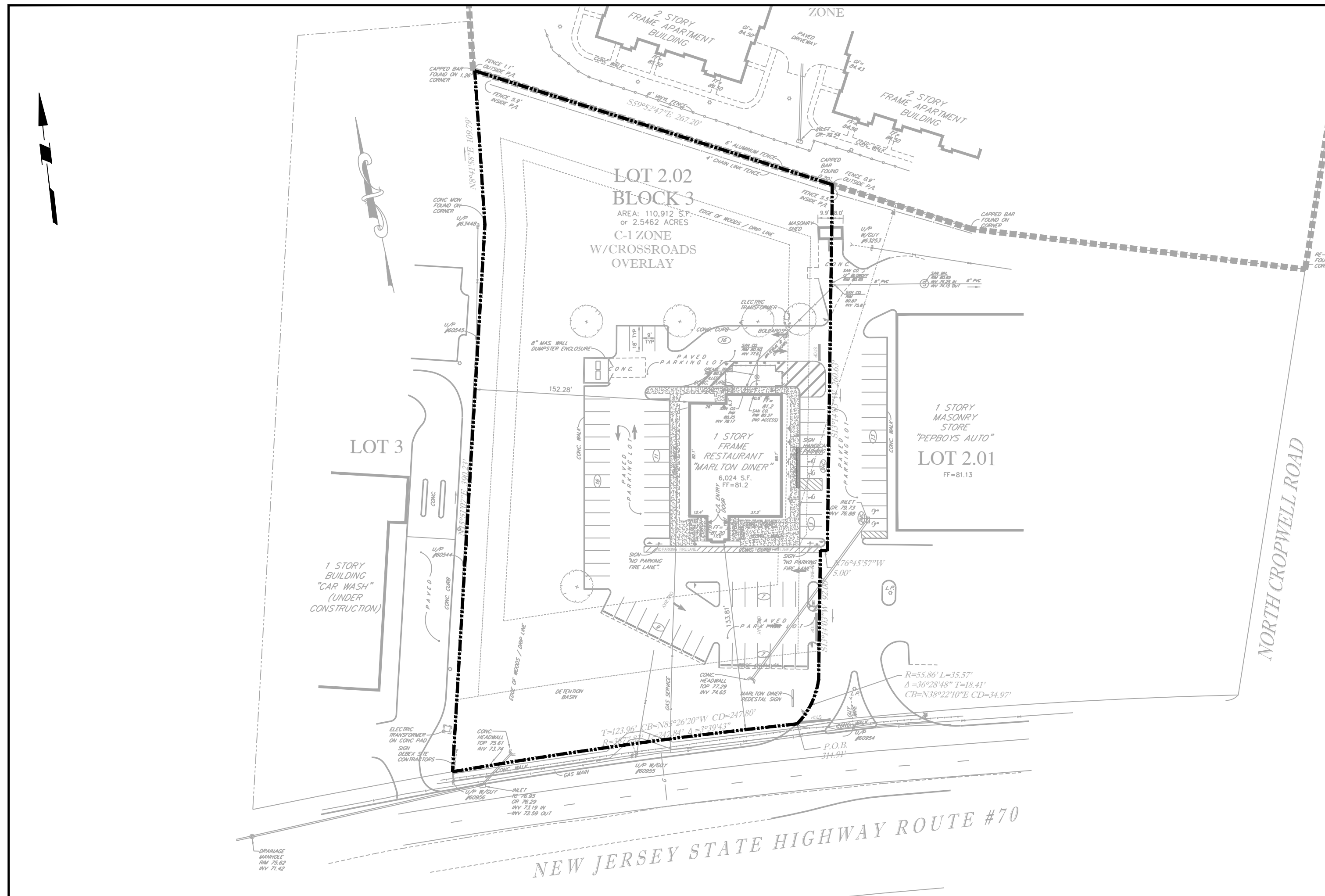
Drawn By AG

Checked By CT

Drawing No.

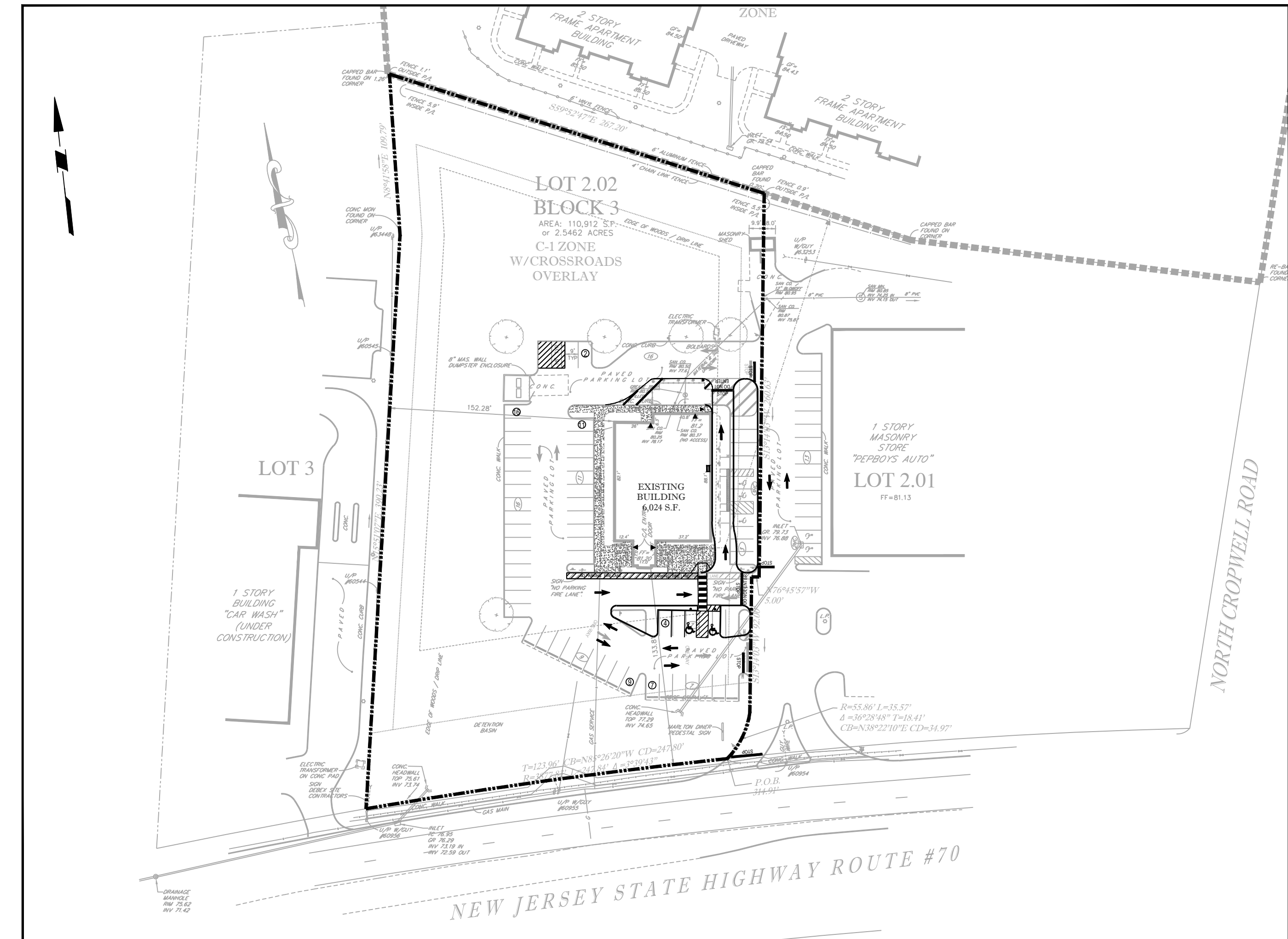
GI-101

Sheet 2 of 7



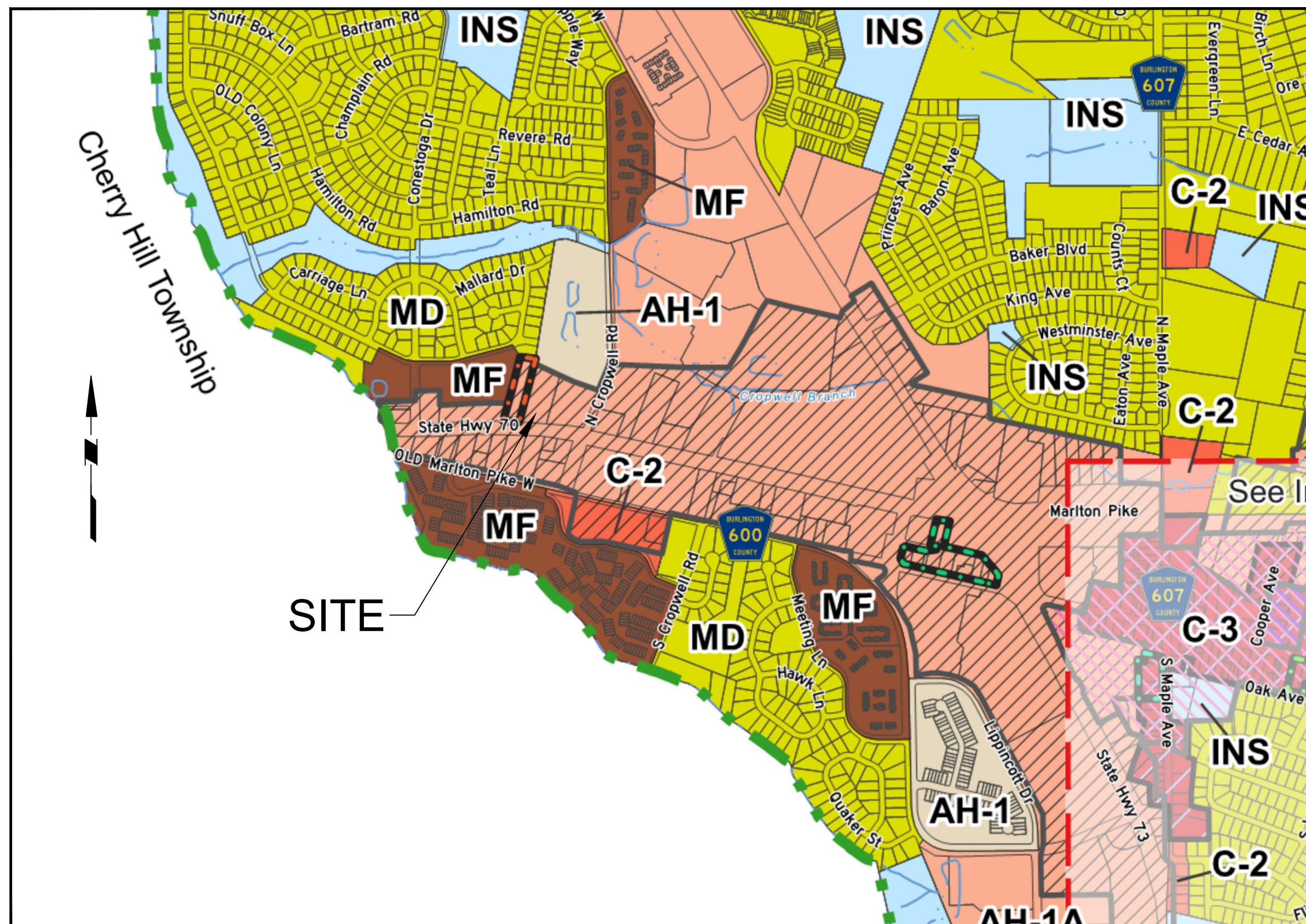
EXISTING CONDITIONS PLAN / KEY MAP

SCALE: 1" = 60'



PROPOSED SITE PLAN / KEY MAP

SCALE: 1" = 60'



ZONING MAP - EVESHAM TOWNSHIP
BURLINGTON COUNTY, NJ

(TAKEN FROM TOWNSHIP ZONING MAP PREPARED BY REMINGTON & VERNICK ENGINEERS, DATED 08-24-21)

N.T.S.

OWNER & ADDRESS REPORT

Evesham Twp 200 FOOT LIST FOR BLOCK 3 LOT 2.02 01/21/25 Page 1 of 1

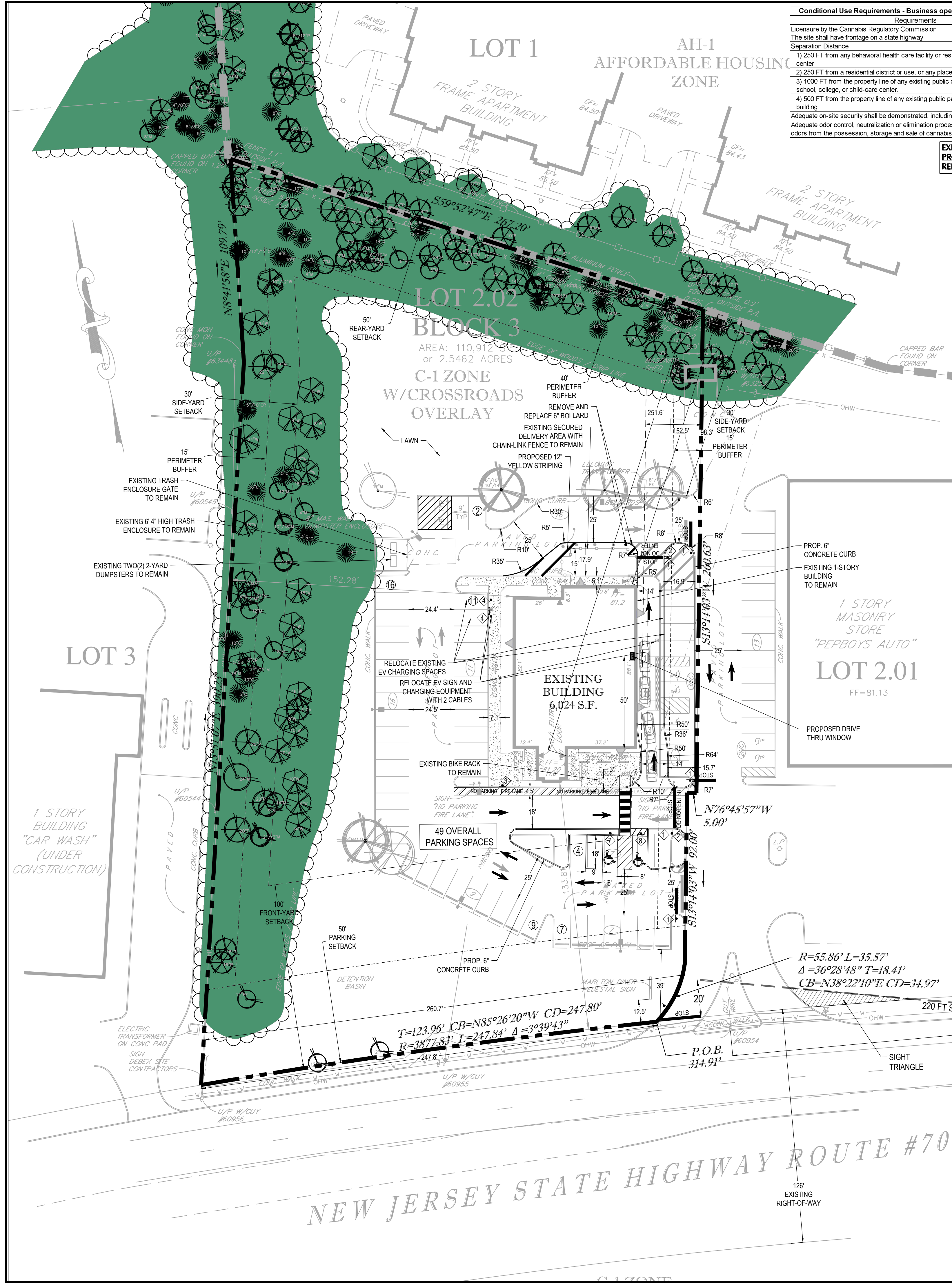
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
3	1		4C	DRIF BROOKVIEW APIS LLC PO BOX 292921 AUSTIN, TX	78720 125 CROPPWELL ROAD NORTH	
3	2.01		4A	NAN REIT, LP 450 S ORANGE AVE # 900 ORLANDO, FL	775 ROUTE 70 WEST 32801	
3	3		4A	SAMMY'S EXPRESS CAR WASH MARLTON LLC 11 WINDEMERE DR MORRISTOWN, NJ	801 ROUTE 70 WEST 08057	5 YR ABATEMENT
3	10	1	4C	MARLTON MEADOWS INV PARTNERSHIP 100 CHESTNUT DRIVE MORRISTOWN, NJ	100 CHESTNUT DRIVE 19072	ALSO SEE 3.01/42
3	10	2	2	SAURA, KRISTINA & MOLESAN, MATTHEW 401 BRADFORD ROAD MARLTON, NJ	401 BRADFORD ROAD 08053	
3	10	4	4A	BONZ INC W/SHORER 220 SO WHITE HORSE PIKE ANDREWS, NJ	901 ROUTE 70 WEST 08106	
3	27	1	2	SHORT, ARTHUR & DONNA 102 MYSTIC ROAD MARLTON, NJ	102 MYSTIC ROAD 08053	
4	3.01		4A	850 RT 70 MARLTON, LLC PO BOX 197 PINE BROOK, NJ	850 ROUTE 70 WEST 07058	
4	3.05		4A	BRIDAL GARDEN HOLDINGS, LLC 900 ROUTE 70 WEST MARLTON, NJ	900 ROUTE 70 WEST 08053	
4	4.01		4A	REPUBLIC FIRST BANK 50 S 16TH ST SITE 2400 PHILADELPHIA, PA	780 ROUTE 70 WEST 19102	
4	4.02		4A	MARLTON PIKE EQUITY LLC/RAISING CANE 6800 BISHOP RD, TAX DEPT PLANO, TX	800 ROUTE 70 WEST 75024	
4	4.03		4A	MCDONALD'S USA LLC/DONALD FAM ENTERP 18 CLOVER LANE NORTON SQUARE, PA	770 ROUTE 70 WEST 19072	
4	4.04		4A	MCDONALD'S USA LLC/DONALD FAM ENTERP 18 CLOVER LANE NORTON SQUARE, PA	760 ROUTE 70 WEST 19072	

200 FEET PROPERTY OWNERS LIST



TAX MAP - EVESHAM TOWNSHIP
BURLINGTON COUNTY, NJ

N.T.S.



Requirements	Proposed
Licenses by the Cannabis Regulatory Commission	Licensed
The site shall have frontage on a state highway	Site front on State Highway Route #70
Separation Distance	> 250 FT
1) 250 FT from any behavioral health care facility or residential medical detoxification center	251.6 FT
2) 250 FT from a residential district or use, or any place of worship, school, college, or child-care center.	> 1000 FT
3) 1000 FT from the property line of any existing public or parochial school, private school, college, or child-care center.	> 500 FT
4) 500 FT from the property line of any existing public parks, and/or other public building	Will Comply
Adequate on-site security shall be demonstrated, including waste materials	Will Comply
Adequate odor control, neutralization or elimination processes to mitigate against off-site odors from the possession, storage and sale of cannabis on the retail premises	Will Comply

EXISTING IMPERVIOUS COVERAGE = 37,615 SF
 PROPOSED IMPERVIOUS COVERAGE = 35,327 SF
 REDUCTION IN IMPERVIOUS COVERAGE = 2,288 SF

ITEM	TOWNSHIP OF EVESHAM - C-1 WITH EVESHAM CROSSROADS OVERLAY				Section	Section
	REQUIRED	REQUIRED	EXISTING	PROPOSED		
Zoning District:	C-1	EVCO	C-1 WITH EVCO	C-1 WITH EVCO	G-1	EVCO
Principal Permitted Use:	Commercial Developments, Business Offices, Medical Centers, Retail Stores, Restaurants	Commercial Developments, Business Offices, Medical Centers, Retail Stores, Restaurants	Restaurant	Licensed Cannabis Retailer	66-68 B	66-68 1.C
Conditional Use:	Licensed Cannabis Retailer	Licensed Cannabis Retailer	Licensed Cannabis Retailer	Licensed Cannabis Retailer with Drive-Thru	66-68 C	66-68 1.D
Min. Lot Size	2 AC	1.5 AC	2.54 AC	2.54 AC	66-68 E(2)	66-68 1.F.1
Min. Street Frontage	200 FT	150 FT	247.6 FT	247.6 FT	66-68 E(3)	66-68 1.F.1
Min. Lot Width	200 FT	200 FT	260.7 FT	260.7 FT	66-68 E(4)	66-68 1.F.1
Min. Lot Depth	200 FT	200 FT	434.5 FT	434.5 FT	66-68 E(5)	66-68 1.F.1
Max. Impervious Coverage	56%	60%	34.2%	31.9%	66-68 E(6)	66-68 1.F.1
Max. Building Height	40 FT	3 stories/40 FT	1 story	1 story	66-68 E(7)	66-68 1.F.1
Building Setback from another building on same site	20 FT	20 FT	NA	NA	66-68 E(8)	66-68 1.F.1
Max. Building Coverage	15%	20 FT	8%	6%	66-68 E(9)	66-68 1.F.1
Floor Area Ratio (1-Story Building)	0.22	0.15	0.06	0.08	66-68 E(10)	66-68 1.F.1
Min. Open Space Area for first building (2-4.99 acre Lot)	10,000 SF	NA	NA	NA	66-68 E(11)	66-68 1.F.1
Buffer to adjacent non-residential property	15 FT	15 FT	NA	NA	66-68 E(12)	66-68 1.F.1
Buffer to adjacent residential property	40 FT	40 FT	98.3 FT	98.3 FT	66-68 E(13)	66-68 1.F.1
Screening/Perimeter Buffer to adjacent residential property	15 FT	15 FT	9.1 FT	9.1 FT	66-68 E(14)	66-68 1.F.1
Structure, Activity, Parking within Buffer Area	Not Permitted	Not Permitted	Parking Excess within Buffer	Will remain as is **	66-68 E(15)	66-68 1.F.1
Berm along State Highways	Required	Required	Does not exist *	Not Provided **	66-68 E(16)	66-68 1.F.1
50% of buffer width to contain required plantings	Required	Required	Does not exist *	Not Provided **	66-68 E(17)	66-68 1.F.1
Shade and Evergreen trees through entire length of buffer	Required	Required	Does not exist *	Not Provided **	66-68 E(18)	66-68 1.F.1
Trees and shrub composition within Perimeter buffer	Required	Required	Does not exist *	Not Provided **	66-68 E(19)	66-68 1.F.1
Low/High Screening composition	Required	Required	Does not exist *	Not Provided **	66-68 E(20)	66-68 1.F.1
Textured Pavement at crosswalks	Required	Required	Does not exist *	Not Provided **	66-68 E(21)	66-68 1.F.1
Bicycle racks	Required	Required	Does not exist *	Not Provided **	66-68 E(22)	66-68 1.F.1
Architectural Elevations	Required	Required	NA	Provided	66-68 E(23)	66-68 1.F.1
Facade Articulation	Required	Required	Building facades greater than 100 feet in length shall have recesses or projections of at least four feet extending over at least 20% of the length of the facade.	Building facades shall be broken up at twenty-five-to-thirty-foot intervals with facade variations or projections and recesses at least two feet in depth.	66-68 E(24)	66-68 1.F.1
Setbacks:						
Front Yard Setback	100 FT	20 FT	133.6 FT	133.6 FT	66-68 E(25)	66-68 1.F.1
Front Yard Parking Setback	50 FT	50 FT	39.0 FT	39.0 FT	66-68 E(26)	66-68 1.F.1
Side Yard Setback	30 FT	25 FT	32.5 FT	32.5 FT	66-68 E(27)	66-68 1.F.1
Rear Yard Setback	50 FT	50 FT	152.5 FT	152.5 FT	66-68 E(28)	66-68 1.F.1
Off-Street Parking:						
Parking within required buffers	Not Permitted	Not Permitted	Exists *	Will remain as is **	66-68 E(29)	66-68 1.F.1
Stall Size	9' X 18'	9' X 18'	9' X 18'	9' X 18'	66-68 E(30)	66-68 1.F.1
Aisle Width	25 FT	25 FT	47.2 FT	24.4 FT	66-68 E(31)	66-68 1.F.1
Spaces (Retail) - 4.5 Spaces/1000 sf of GFA	28 Spaces	28 Spaces	72 Spaces	49 Spaces	66-68 E(32)	66-68 1.F.1
Non-Residential driveway setback from property line	25 FT	25 FT	0 FT	0 FT	66-68 E(33)	66-68 1.F.1
Non-Residential driveway setback from intersection	100 FT	100 FT	> 100 FT	> 100 FT	66-68 E(34)	66-68 1.F.1
Landscaping:						
Landscape plan: prepared, signed and sealed by Landscape Architect	Required	Required	-	Will Comply	66-68 E(35)	66-68 1.F.1
Street Trees Planting Interval	Large Trees - 40 FT Medium Trees - 30 FT Small Trees - 20 FT	Large Trees - 40 FT Medium Trees - 30 FT Small Trees - 20 FT	-	-	66-68 E(36)	66-68 1.F.1
Parking area screening	Min. 4 FT high berm, fence, wall or combination thereof	Min. 4 FT high berm, fence, wall or combination thereof	10% of total area devoted to vehicle use	< 10% **	66-68 E(37)	66-68 1.F.1
Parking area landscaping	10% of total area devoted to vehicle use	10% of total area devoted to vehicle use	10% of total area devoted to vehicle use	< 10% **	66-68 E(38)	66-68 1.F.1
Planting island every 20 parking spaces	Required	Required	NA	NA	66-68 E(39)	66-68 1.F.1
Planting island Minimum width	9 FT	9 FT	< 9 FT *	< 9 FT **	66-68 E(40)	66-68 1.F.1

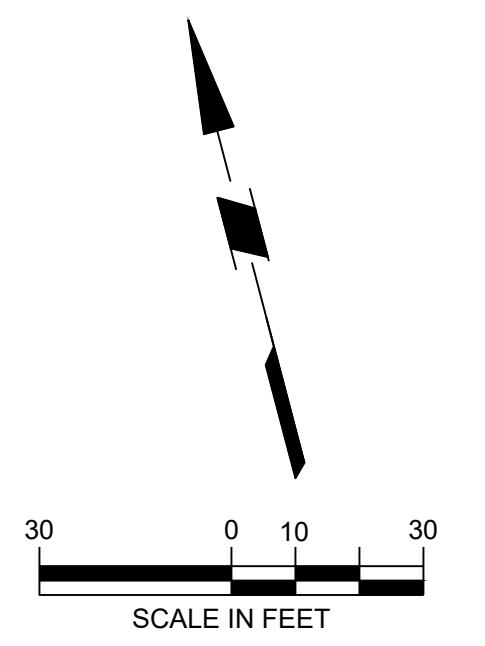
- NOTES:
- THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - THE SITE IS LOCATED IN C-1 ZONING DISTRICT WITH EVESHAM CROSSROADS OVERLAY DISTRICT IN BLOCK NO. 3 AND LOT NO. 2.02.
 - THE TOTAL TRACT AREA IS 110,912 SF OR 2.54 AC.
 - OWNER: MARLTON REAL ESTATE MANAGEMENT LLC
C/O RD MANAGEMENT, LLC
810 SEVENTH AVE
10TH FLOOR
NEW YORK, NY 10019
 - APPLICANT: ENLIGHTEN HEALTH & WELLNESS LLC
C/O RD MANAGEMENT, LLC
810 SEVENTH AVE
10TH FLOOR
NEW YORK, NY 10019
 - THE BOUNDARY AND SURVEY INFORMATION SHOWN HEREON WAS OBTAINED FROM PLAN TITLED "BOUNDARY AND TOPOGRAPHICAL SURVEY LOT 2.02 BLOCK 3", PREPARED BY CPL PARTNERSHIP LLC, DATED 02/02/22 AND LAST REVISED 06/08/22.
 - PER THE FEMA FIRM MAP NUMBER 34005C0239F, THE PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE.
 - THERE ARE NO WETLANDS PRESENT ON SITE.
 - THE EXISTING SITE ACCESS WILL REMAIN UNCHANGED.
 - CONTRACTOR SHALL REFER TO THE LATEST ADA ACCESSIBILITY GUIDELINES AND ANSI A117.1-2003 FOR BUILDINGS AND FACILITIES (ADAAG) TO ENSURE THAT ADA DETAILS ARE CURRENT AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL CONSTRUCT AREAS DESIGNATED FOR ACCESSIBLE ROUTES (INCLUDING CURB RAMPS, SIDEWALKS, HANDICAP PARKING STALLS, CROSSWALKS AND INLETS) BY FOLLOWING THE MOST CURRENT ADA ACCESSIBILITY GUIDELINES AND ANSI A117.1-2003.
 - THE PROJECT SITE WILL BE SERVICED BY PUBLIC WATER AND PUBLIC SANITARY SEWER SERVICES.
 - THE CONTRACTOR SHALL PROVIDE ALL APPLICABLE JURISDICTIONAL AUTHORITIES/AGENCIES REQUIRED NOTICE BEFORE BEGINNING ANY ON-SITE OR OFF-SITE WORK.
 - THE CONTRACTOR IS FULLY RESPONSIBLE FOR ADHERING TO ALL REGULATIONS RELATED TO HEALTH AND SAFETY AS WELL AS ALL APPLICABLE STATE, FEDERAL AND LOCAL RULES AND REGULATIONS.
 - ALL DEMOLITION MUST BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
 - ALL EXISTING TREES SHOWN TO BE PRESERVED SHALL BE FIELD EVALUATED DURING CONSTRUCTION. IF ANY OF THESE TREES ARE FOUND TO BE DISEASED, DEAD OR DYING SHALL BE REPLACED.
 - ALL STRIPING AND PAVEMENT MARKINGS SHALL BE WATERBORNE PAINT.
 - TRASH PICKUP AND DELIVERIES SHALL BE LIMITED TO TAKE PLACE BETWEEN 7 AM AND 7 PM TO MINIMIZE IMPACTS TO NEARBY RESIDENTS.
 - ADDITIONAL GROUND COVER OR PERENNIAL PLANTINGS MAY BE REQUIRED IN THE FIELD.
 - A KNOX BOX ENTRY SYSTEM, IF NOT PRESENT, WILL BE REQUIRED TO BE INSTALLED AT THE MAIN ENTRANCE OF THE BUILDING.
 - THE BUSINESS ADDRESS MUST BE AFFIXED TO THE FRONT OF THE BUILDING AND BE VISIBLE FROM THE STREET.
 - A PERFORMANCE GUARANTEE FOR PERIMETER BUFFER LANDSCAPING SHALL BE PROVIDED TO THE EXTENT PERMITTED BY STATE LAW.

- CONSTRUCTION NOTES:
- CONTRACTOR IS SPECIFICALLY CAUTIONED TO VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES THAT MAY BE AFFECTED TO PERFORM THE REQUIRED SITE IMPROVEMENTS. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES LOCATED WITHIN THE LIMITS OF IMPROVEMENTS DURING ENTIRE CONSTRUCTION PERIOD. IF NECESSARY, CONTRACTOR SHALL RELOCATE AND/OR MODIFY ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
 - THE SITE IS TO BE GRADED SMOOTHLY AND EVENLY IN ACCORDANCE WITH THE PROPOSED CONTOURS AND SPOT ELEVATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING A POSITIVE DRAINAGE FLOW TO ALL CATCH BASINS WITHOUT CREATING ANY "LOW SPOTS" THAT WILL RESULT IN STANDING WATER (PONDING). CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL UNPAVED AND PAVED AREAS.
 - IF ANY EXISTING STRUCTURE TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 4,000 PSI.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
 - SITWORK SHALL MEET OR EXCEED TENANT AND TOWNSHIP SITE SPECIFICATIONS.
 - CONTRACTOR AND ARCHITECT MUST COORDINATE THE EXTERIOR GRADES AT ALL DOOR LOCATIONS DURING THE BUILDING DESIGN AND PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
 - ALL STAIRS, HANDRAILS, CONCRETE LANDING AREAS, AND ACCESS PATHS TO THE EXISTING BUILDING ARE SHOWN ON THIS PLAN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR MUST REFER TO THE ARCHITECTURAL PLANS FOR CONSTRUCTION OF ALL STAIRS, HANDRAILS, CONCRETE LANDING AREAS, AND ACCESS PATHS TO THE EXISTING BUILDING.

EXISTING SYMBOLS & LINES		PROPOSED SYMBOLS & LINES	
STORM DRAIN	SANITARY LINE	PROPOSED LOT LINE	SITE
GAS LINE	WATER LINE	SETBACK LINE	FENCE
ELECTRIC LINE	OVERHEAD WIRE	BUILDING	CURB LINE
FENCE (TYPE AS NOTED)	TREE LINE	DEPRESSED CURB LINE	TRAFFIC SIGN
PROPERTY RIGHT-OF-WAY LINE	ZONING BOUNDARY	CONCRETE SIDEWALK/PAD	PARKING ROW COUNT
UTILITY SHARED	CONTOUR LINE	DOOR	EV CHARGING STATION
HYDRANT	STREET LIGHT	BOLLARD	BIKE RACK
POLE	ANCHOR POLE	ADA DETECTABLE WARNING SURFACE	LANDSCAPE BUFFER AREA
MANHOLE (TYPE AS LABELED)	CATCH BASIN	UNKNOWN VALVE	EXISTING TREES
GAS VALVE	UNKNOWN VALVE	CATCH BASIN	
SPOT ELEVATION	CLEAN OUT	CONTOUR	
TREE	BENCH MARK	SPOT GRACE	
NO LEFT TURN	ADA ACCESSIBLE SIGN	TOP OF CURB ELEVATION	
STOP SIGN	DO NOT ENTER	BOTTOM OF CURB ELEVATION	
ONE WAY SIGN	EV PARKING ONLY CHARGING STATION	FLOW ARROW	
WATCH FOR PEDESTRIANS	NO LEFT TURN		
NO LEFT TURN	ADA ACCESSIBLE SIGN		
TO REMAIN	TO BE REMOVED		



arna Engineering Inc.
1456 Ferry Road, Suite 603
Doylestown, PA 18901
T: 215.766.8280
F: 215.434.5280



Project
ENLIGHTEN HEALTH AND WELLNESS, AND ADAPTIVE REUSE OF MARLTON DINER

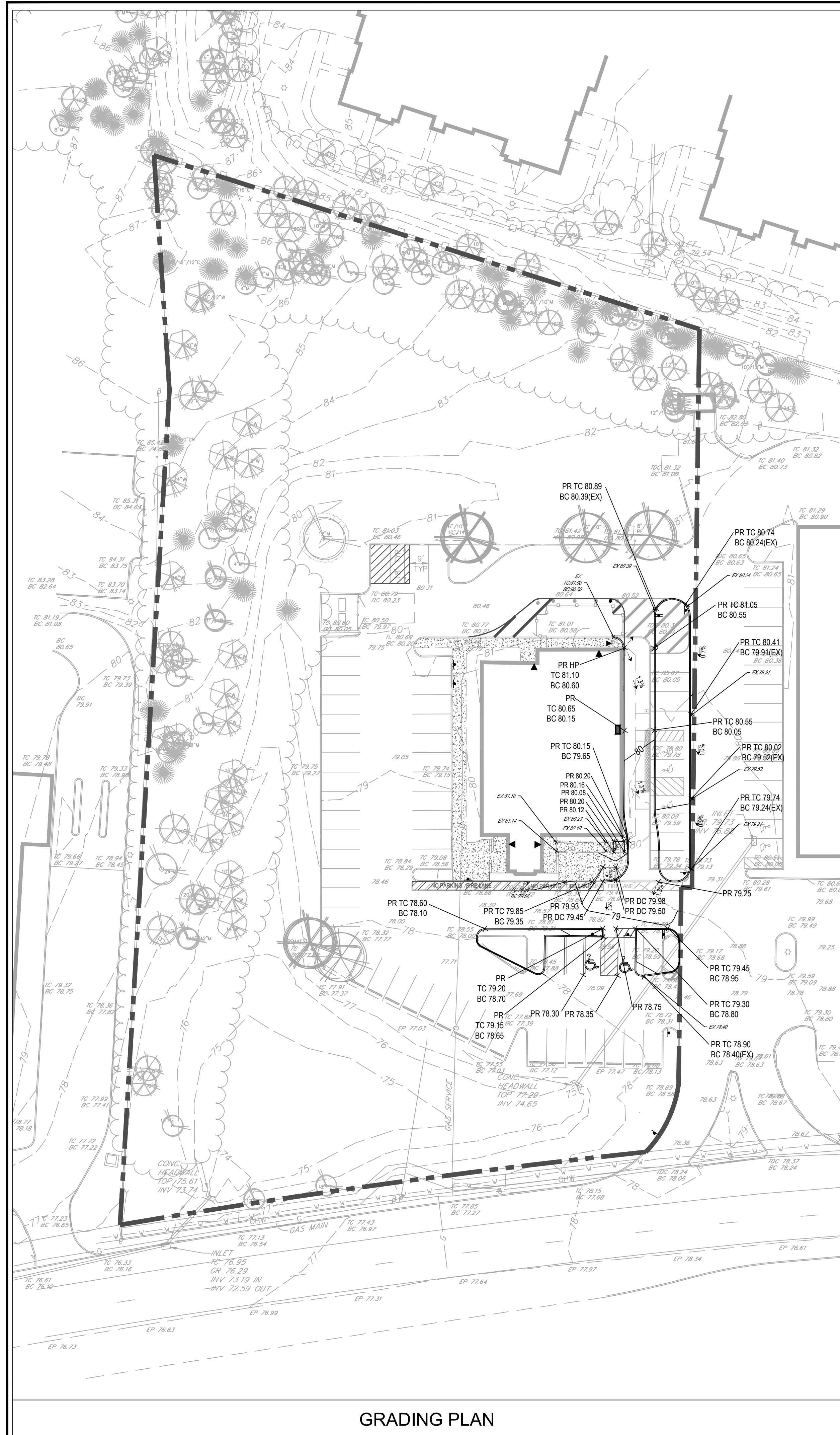
Block No. 3, Lot No. 2.02
EVESHAM TOWNSHIP
BURLINGTON COUNTY
NEW JERSEY

Drawing Title
SITE PLAN

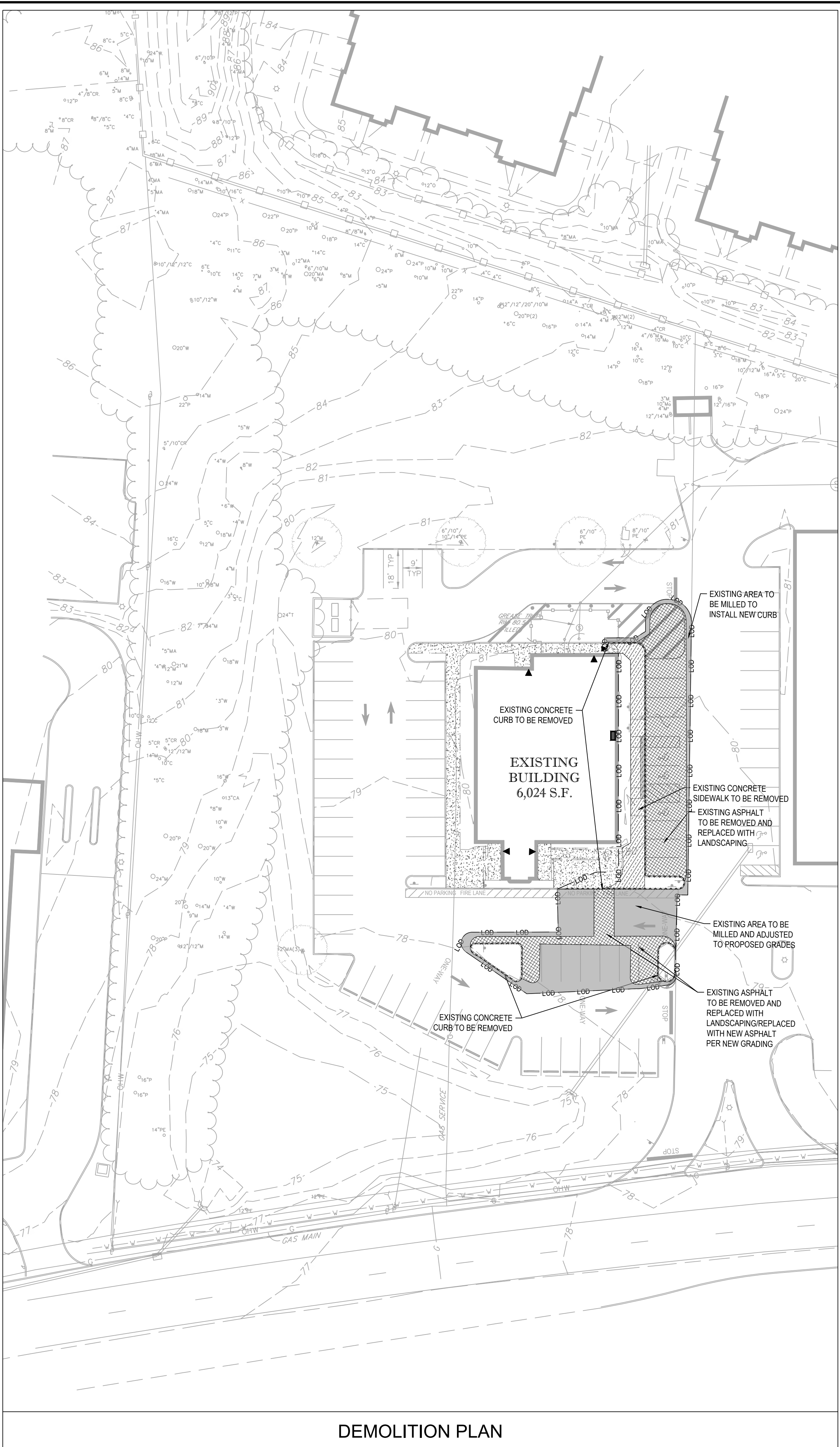
CHIRAG V. THAKKAR, P.E.
PROFESSIONAL ENGINEER
N.J. Lic. No. 24G64451600

DATE	COMMENTS	NO.
01-28-25	REVISED PLAN	4.
04-04-23	REVISED PLAN	3.
12-15-22	REVISED PLAN	2.
09-20-22	REVISED PLAN	1.

REVISIONS	
Project No.	230017901
Date	08/10/2022
Scale	1" = 30'
Drawn By	AG
Checked By	CT
Drawing No.	CS-101
Sheet	3 of 7



GRADING PLAN



DEMOLITION PLAN

DEMOLITION PLAN LEGEND

	EXISTING CONCRETE TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING ASPHALT TO BE MILLED AND OVERLAID
	EXISTING CONCRETE CURB TO BE REMOVED
	LIMIT OF DISTURBANCE

- DEMOLITION PLAN NOTES:**
- THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - THIS PLAN IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY TO IDENTIFY THE LIMITS OF DEMOLITION AND SHALL NOT BE CONSIDERED AN INCLUSIVE LISTING OF ITEMS TO BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL LIMITS & EXTENTS OF DEMOLITION.
 - THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL PROVISIONS OF ESHAM TOWNSHIP AND OTHER JURISDICTIONAL AGENCIES. DEMOLITION AND REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING, BUT NOT LIMITED TO SIDEWALK CLOSING, DEMOLITION, DISPOSAL AND ASBESTOS ABATEMENT.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALK DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL. TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE, CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES AS APPROVED BY CONSTRUCTION MANAGER. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY AND EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY AND UTILITY INTERRUPTIONS WITH THE OWNER TO MINIMIZE DISTURBANCE.
 - THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL OFFSITE PROPERTIES AND STRUCTURES FROM ANY AND ALL DAMAGE DURING THE DEMOLITION OPERATION. THE CONTRACTOR SHALL USE ANY NECESSARY PROTECTION SCREENS, PLATFORMS, BRACING, UNDERPINNING, ETC. TO PROTECT OFFSITE PROPERTY. ANY DAMAGE CAUSED BY THE CONTRACTOR OR HIS/HER AGENTS SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE COST AND INSTALLATION OF DEMOLITION / CONSTRUCTION FENCE. THE CONTRACTOR IS RESPONSIBLE FOR LIMITS AND THE AMOUNT OF FENCE REQUIRED IN ADDITION TO THE SECURITY OF THE WORK AREA.
 - THE CONTRACTOR SHALL MAINTAIN UNINTERRUPTED UTILITY SERVICE TO THE SURROUNDING PROPERTIES AT ALL TIMES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIALS AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATION.
 - LANDSCAPING TO REMAIN IS TO BE PROTECTED DURING ALL SITE WORK.

OVERALL LIMIT OF DISTURBANCE = ±7,865 SF

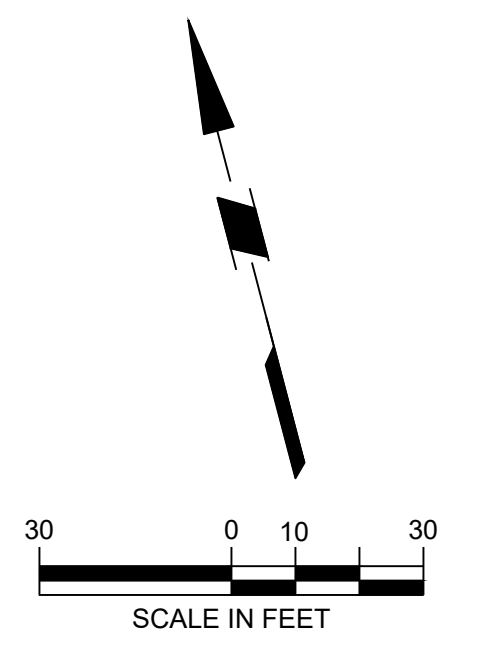
- ACCESSIBLE PLAN NOTES:**
- CONTRACTOR SHALL REFER TO THE LATEST ADA ACCESSIBILITY GUIDELINES AND ANSI A117.1-2003 FOR BUILDINGS AND FACILITIES (ABAAG) TO ENSURE THAT ADA DETAILS ARE CURRENT AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL CONSTRUCT AREAS DESIGNATED FOR ACCESSIBLE ROUTES (INCLUDING CURB RAMP, SIDEWALKS, HANDICAP PARKING STALLS, CROSSWALKS AND INLETS) BY FOLLOWING THE MOST CURRENT ADA ACCESSIBILITY GUIDELINES AND ANSI A117.1-2003.
 - ALL ACCESSIBLE PARKING SPACES AREA SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
 - ALL ACCESSIBLE ROUTE AND RAMP CROSS SLOPES SHALL NOT EXCEED 2%.
 - ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5%. IF ANY PART OF THE ACCESSIBLE ROUTE HAS A RUNNING SLOPE EXCEEDING 5%, IT IS CONSIDERED A RAMP.
 - RAMP SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (1:12 SLOPE) AND A MAXIMUM CROSS SLOPE OF 2%. SEE SHEET FOR RAMP DETAILS.
 - CONTRACTOR SHALL FIELD VERIFY THAT THE EXISTING LONGITUDINAL SLOPE (ALONG THE DIRECTION OF TRAVEL) DOES NOT EXCEED 5% AND CROSS SLOPE DOES NOT EXCEED 2% FOR ACCESSIBLE ROUTES (TYP.). CONTRACTOR SHALL NOTIFY THE OWNER AND OWNER'S ENGINEER IF ANY ACCESSIBLE ROUTES (I.E. SIDEWALK, PAVED AREAS, ETC.) DOES NOT COMPLY WITH THE ABOVE ADA REQUIREMENTS.

LEGEND

EXISTING SYMBOLS & LINES	PROPOSED SYMBOLS & LINES



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Project
ENLIGHTEN HEALTH AND WELLNESS, AND ADAPTIVE REUSE OF MARLTON DINER

Block No. 3
Lot No. 2.02
ESHAM TOWNSHIP
BURLINGTON COUNTY NEW JERSEY

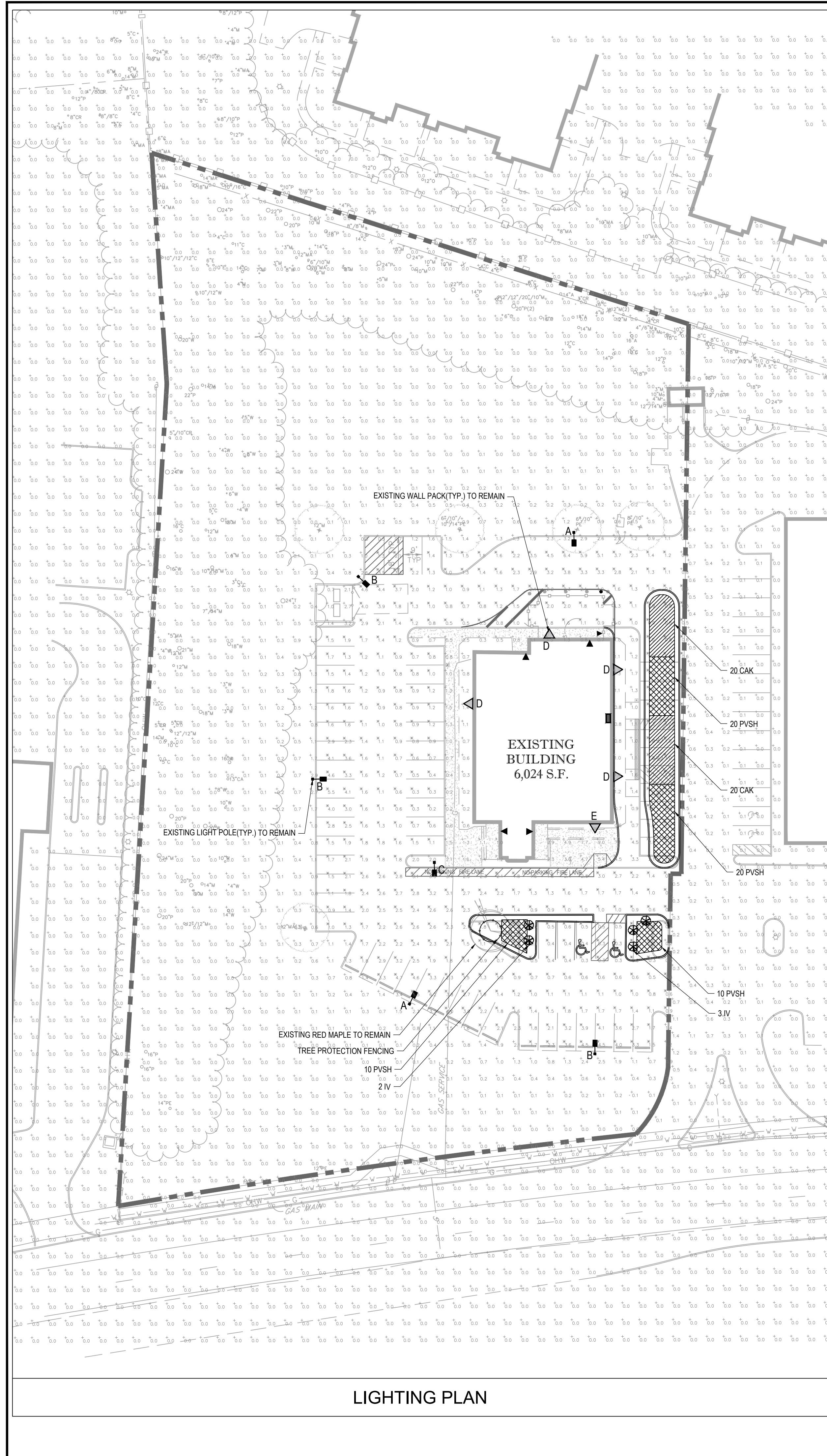
Drawing Title
SITE IMPROVEMENTS PLAN

CHIRAG V. THAKKAR, P.E.
PROFESSIONAL ENGINEER
N.J.LIC. No. 24GE04451600

DATE	REVISIONS	NO.
01-28-25	REVISED PLAN	4.
04-04-23	REVISED PLAN	3.
12-15-22	REVISED PLAN	2.
09-20-22	REVISED PLAN	1.

DATE	COMMENTS	NO.

Project No.	230017901
Date	08/10/2022
Scale	1" = 30'
Drawn By	AG
Checked By	CT
Drawing No.	CS-102



LIGHTING PLAN

ODEN LED Specifications		ODEN LED Specifications		ODEN LED Specifications	
TYPE T3 CON-2-L-73-48C-7-3K		TYPE T4 CON-2-L-74-48C-7-4K		TYPE T5 CON-2-L-75-48C-7-4K	
	Ordering Information		Ordering Information		Ordering Information
MODEL: T3	LEDS: 11	MODEL: T4	LEDS: 11	MODEL: T5	LEDS: 11
OFFICE: 11	CURRENT: 11	OFFICE: 11	CURRENT: 11	OFFICE: 11	CURRENT: 11
KEVIN: 11	VOLTAGE: 11	KEVIN: 11	VOLTAGE: 11	KEVIN: 11	VOLTAGE: 11
FINISH: 11	FRONT: 11	FINISH: 11	FRONT: 11	FINISH: 11	FRONT: 11
COVER: 11	OPTION: 11	COVER: 11	OPTION: 11	COVER: 11	OPTION: 11

WEDGE LED		WEDGE3 LED		LIGHT POLE DETAIL	
TYPE W1 WEDGE LED P3 30K BOCR1 FT1M		TYPE W2 WEDGE3 LED P4 70CRI RFT 30K		LIGHT POLE DETAIL	
	Specifications		Specifications		
Depth: 11"	Width: 11"	Depth: 11"	Width: 11"	Light Pole Detail Diagram	
Height: 11"	Weight: 11 lbs	Height: 11"	Weight: 11 lbs	Light Pole Detail Diagram	
WEDGE LED Family Overview		WEDGE3 LED Family Overview		Light Pole Detail Diagram	
Model	Part Number	Model	Part Number	Light Pole Detail Diagram	
W1	W1-11	W2	W2-11	Light Pole Detail Diagram	
W2	W2-11	W3	W3-11	Light Pole Detail Diagram	
W3	W3-11	W4	W4-11	Light Pole Detail Diagram	
W4	W4-11	W5	W5-11	Light Pole Detail Diagram	
W5	W5-11	W6	W6-11	Light Pole Detail Diagram	
W6	W6-11	W7	W7-11	Light Pole Detail Diagram	
W7	W7-11	W8	W8-11	Light Pole Detail Diagram	
W8	W8-11	W9	W9-11	Light Pole Detail Diagram	
W9	W9-11	W10	W10-11	Light Pole Detail Diagram	
W10	W10-11	W11	W11-11	Light Pole Detail Diagram	
W11	W11-11	W12	W12-11	Light Pole Detail Diagram	
W12	W12-11	W13	W13-11	Light Pole Detail Diagram	
W13	W13-11	W14	W14-11	Light Pole Detail Diagram	
W14	W14-11	W15	W15-11	Light Pole Detail Diagram	
W15	W15-11	W16	W16-11	Light Pole Detail Diagram	
W16	W16-11	W17	W17-11	Light Pole Detail Diagram	
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W19	W19-11	W20	W20-11	Light Pole Detail Diagram	
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W21	W21-11	W22	W22-11	Light Pole Detail Diagram	
W22	W22-11	W23	W23-11	Light Pole Detail Diagram	
W23	W23-11	W24	W24-11	Light Pole Detail Diagram	
W24	W24-11	W25	W25-11	Light Pole Detail Diagram	
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W29	W29-11	W30	W30-11	Light Pole Detail Diagram	
W30	W30-11	W31	W31-11	Light Pole Detail Diagram	
W31	W31-11	W32	W32-11	Light Pole Detail Diagram	
W32	W32-11	W33	W33-11	Light Pole Detail Diagram	
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W34	W34-11	W35	W35-11	Light Pole Detail Diagram	
W35	W35-11	W36	W36-11	Light Pole Detail Diagram	
W36	W36-11	W37	W37-11	Light Pole Detail Diagram	
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W39	W39-11	W40	W40-11	Light Pole Detail Diagram	
W40	W40-11	W41	W41-11	Light Pole Detail Diagram	
W41	W41-11	W42	W42-11	Light Pole Detail Diagram	
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W47	W47-11	W48	W48-11	Light Pole Detail Diagram	
W48	W48-11	W49	W49-11	Light Pole Detail Diagram	
W49	W49-11	W50	W50-11	Light Pole Detail Diagram	
W50	W50-11	W51	W51-11	Light Pole Detail Diagram	
W51	W51-11	W52	W52-11	Light Pole Detail Diagram	
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W61	W61-11	W62	W62-11	Light Pole Detail Diagram	
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W65	W65-11	W66	W66-11	Light Pole Detail Diagram	
W66	W66-11	W67	W67-11	Light Pole Detail Diagram	
W67	W67-11	W68	W68-11	Light Pole Detail Diagram	
W68	W68-11	W69	W69-11	Light Pole Detail Diagram	
W69	W69-11	W70	W70-11	Light Pole Detail Diagram	
W70	W70-11	W71	W71-11	Light Pole Detail Diagram	
W71	W71-11	W72	W72-11	Light Pole Detail Diagram	
W72	W72-11	W73	W73-11	Light Pole Detail Diagram	
W73	W73-11	W74	W74-11	Light Pole Detail Diagram	
W74	W74-11	W75	W75-11	Light Pole Detail Diagram	
W75	W75-11	W76	W76-11	Light Pole Detail Diagram	
W76	W76-11	W77	W77-11	Light Pole Detail Diagram	
W77	W77-11	W78	W78-11	Light Pole Detail Diagram	
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W92	W92-11	W93	W93-11	Light Pole Detail Diagram	
W93	W93-11	W94	W94-11	Light Pole Detail Diagram	
W94	W94-11	W95	W95-11	Light Pole Detail Diagram	
W95	W95-11	W96	W96-11	Light Pole Detail Diagram	
W96	W96-11	W97	W97-11	Light Pole Detail Diagram	
W97	W97-11	W98	W98-11	Light Pole Detail Diagram	
W98	W98-11	W99	W99-11	Light Pole Detail Diagram	
W99	W99-11	W100	W100-11	Light Pole Detail Diagram	

LIGHTING DETAILS

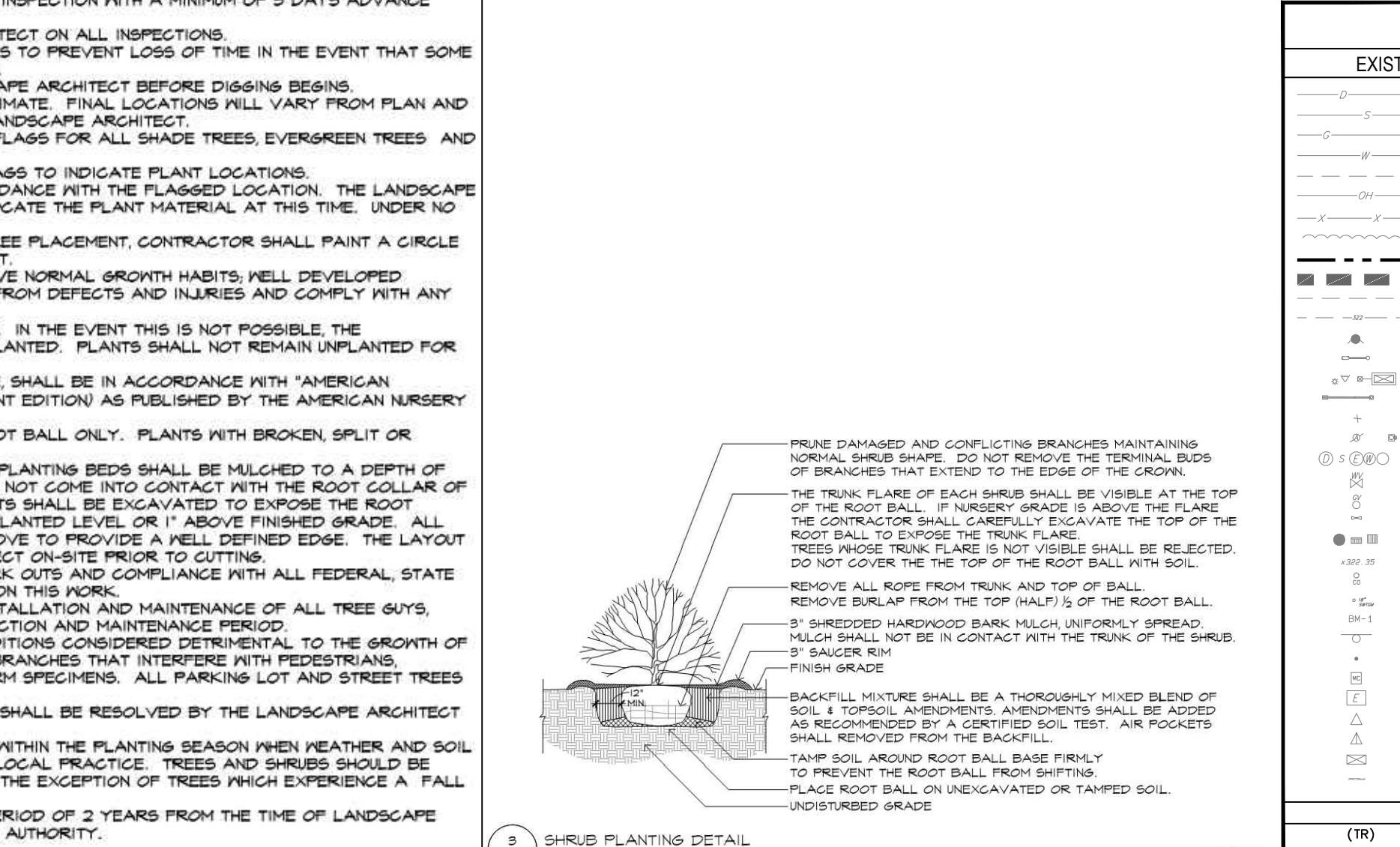
- NOTES:**
- 1) BACKLIGHT LOUVERS HAVE BEEN ADDED TO THE OPTICS TO PROVIDE FOR A HOUSE SIDE SHIELD.
 - 2) THE LIGHT LEVELS IN THE PARKING LOT SHALL BE REDUCED TO SECURITY LEVEL AS SPECIFIED. APPLICANTS SECURITY CONSULTANT AFTER CLOSE OF BUSINESS.
 - 3) ALL LIGHT POLES AND LIGHT FIXTURES SHALL BE PAINTED BLACK IN COLOR TO MATCH THE OTHER SITE FURNISHINGS.
 - 4) ALL LIGHT POLES SHALL BE SETBACK AT LEAST 3 FT FROM DRIVES AND PARKING SPACES TO AVOID ANY CONFLICTS.
 - 5) THE EXPOSED 38" OF THE LIGHT POLE FOOTING SHALL BE CONCRETE STAINED TO COMPLEMENT THE POLE

Symbol	Label	Type	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height(ft)
A	A	T3	2	Visionaire Lighting LLC	CON-2-L-73-48C-7-3K-UNV-CLS	25 in D x 22.5 in H LED LUMINAIRE	1	9420	0.93	107	19.55
B	B	T4	3	Visionaire Lighting LLC	CON-2-L-74-48C-7-3K-UNV-CLS	25 in D x 22.5 in H LED LUMINAIRE	1	8822	0.93	107	19.55
C	C	T5	1	Visionaire Lighting LLC	CON-2-L-75-48C-7-3K-UNV-CLS	25 in D x 22.5 in H LED LUMINAIRE	1	9903	0.93	107	19.55
D	D	W1	4	Lithonia Lighting	WEDGE LED P3 30K BOCR1 FT1M	WEDGE LED WITH P3 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE FORWARD THROW, MEDIUM OPTIC	1	3015	0.93	32,1375	15
E	E	W2	1	Lithonia Lighting	WEDGE3 LED P4 70CRI RFT 30K	WEDGE3 LED WITH P4 - PERFORMANCE PACKAGE, 3000K, 70CRI, FORWARD THROW OPTIC	1	11314	0.93	87,8914	15

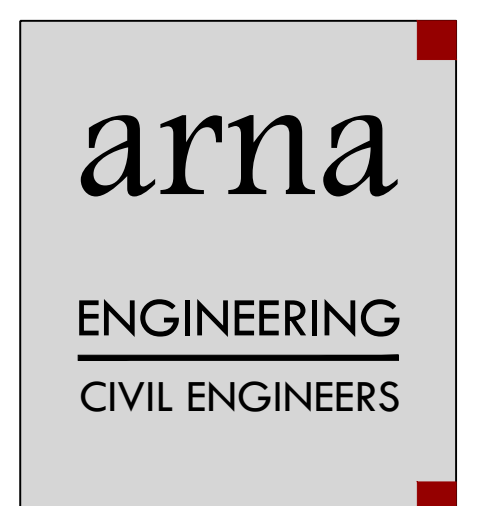
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT ONLY	X	1.7 fc	6.4 fc	0.2 fc	32.0:1	8.5:1
WHOLE PARCEL	+	0.6 fc	9.0 fc	0.0 fc	N/A	N/A
BEYOND PARCEL BOUNDARY	+	0.0 fc	1.4 fc	0.0 fc	N/A	N/A

- PLANTING NOTES:**
1. THE CONTRACTOR SHALL FURNISH QUANTITIES NECESSARY TO COMPLETE THE PLANTING AS SHOWN ON THE PLANTING PLANS.
 2. ALL PLANTS SHALL EQUAL OR EXCEED MEASUREMENTS SPECIFIED IN THE PLANT LIST WHICH ARE THE MINIMUM ACCEPTABLE.
 3. PLANTS SHALL BE MEASURED BEFORE PRUNING. NECESSARY PRUNING SHALL BE PERFORMED AFTER THE PLANT IS UNTIED AND PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY MAJOR PRUNING REQUIREMENTS DUE TO DAMAGE. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REQUEST ANY PLANT MATERIAL THAT NEEDS SIGNIFICANT PRUNING DUE TO DAMAGE FROM SHIPMENT OR HANDLING.
 4. WHEN FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, STOCK SHALL BE SELECTED FOR UNIFORM HEIGHT AND SPREAD AND LABELED BY NUMBER TO ASSURE SYMMETRY IN PLANTING.
 5. WHEN ALL PLANT MATERIAL HAS BEEN SELECTED AND PRE-TAGGED BY THE LANDSCAPE CONTRACTOR, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN ORDER TO SCHEDULE HIS NURSERY INSPECTION WITH A MINIMUM OF 5 DAYS ADVANCE NOTICE.
 6. THE CONTRACTOR SHALL ACCOMPANY THE LANDSCAPE ARCHITECT ON ALL INSPECTIONS.
 7. THE CONTRACTOR SHALL HAVE SUFFICIENT ALTERNATE CHOICES TO PREVENT LOSS OF TIME IN THE EVENT THAT SOME TREES FAIL TO MEET THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 8. LOCATIONS OF PLANT MATERIAL SHOWN ON PLANS ARE APPROXIMATE. FINAL LOCATIONS WILL VARY FROM PLAN AND SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
 9. CONTRACTOR SHALL PROVIDE PRE-MARKED, COLOR-CODED FLAGS FOR ALL SHADE TREES, EVERGREEN TREES AND FLOWERING TREES.
 10. LANDSCAPE ARCHITECT SHALL PLACE THE COLOR-CODED FLAGS TO INDICATE PLANT LOCATIONS.
 11. CONTRACTOR SHALL PLACE TREES ABOVE GROUND IN ACCORDANCE WITH THE FLAGGED LOCATION. THE LANDSCAPE ARCHITECT MAY REQUEST THE CONTRACTOR TO MOVE, TURN OR RELOCATE PLANT MATERIAL AT THIS TIME. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PRE-DIG TREE PITS.
 12. UPON FINAL APPROVAL BY THE LANDSCAPE ARCHITECT OF TREE PLACEMENT, CONTRACTOR SHALL PAINT A CIRCLE AROUND THE BALL OF THE TREE, MOVE TREE AND EXCAVATE TREE PIT.
 13. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHING; BE FREE FROM DEFECTS AND INJURIES AND COMPLY WITH ANY SPECIAL INSTRUCTIONS NOTED WITHIN THE PLANT LIST.
 14. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT PLANT STOCK WHICH HAS NOT BEEN PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY.
 15. QUALITY BRANCHING AND SIZE OF PLANTS, INCLUDING ROOT SIZE SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" AND 2601-2014 (OR MOST RECENT EDITION) AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
 16. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY. PLANTS WITH BROKEN, SPLIT OR DAMAGED ROOT BALLS SHALL BE REJECTED.
 17. ALL LAMN AND PLANTING BEDS SHALL RECEIVE 6" OF TOPSOIL. PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3-4 INCHES WITH SHREDDED HARDWOOD BARK MULCH. MULCH SHOULD NOT COME INTO CONTACT WITH THE ROOT COLLAR OF TREES OR SHRUBS. THE TOP OF THE ROOT BALL FOR ALL B&B PLANTS SHALL BE EXCAVATED TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE AT THE TOP OF THE BALL AND PLANTED LEVEL OR 1" ABOVE FINISHED GRADE. ALL BEDLINES SHALL BE CUT FOUR INCHES DEEP INTO A "V" SHAPED GROOVE TO PROVIDE A WELL DEFINED EDGE. THE LAYOUT OF ALL BEDLINES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT ON-SITE PRIOR TO CUTTING.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY MARK, O-U-TS AND COMPLIANCE WITH ALL FEDERAL, STATE OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING IRON THIS WORK.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TREE GUYS, STAKES, SUPPORTS AND MULCH RINGS OR BEDS DURING THE CONSTRUCTION AND MAINTENANCE PERIOD.
 20. THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PROPOSED PLANT MATERIAL. TREES MUST BE PRUNED OF ANY BRANCHES THAT INTERFERE WITH PEDESTRIANS, VEHICLES OR SIGNS. SHADE TREES MUST BE SINGLE TRUNK, TREE FORM SPECIMENS. ALL PARKING LOT AND STREET TREES SHALL BE LINED TO A HEIGHT OF SEVEN FEET ABOVE GRADE.
 21. ANY DISCREPANCY BETWEEN THE PLANS AND FIELD CONDITIONS SHALL BE RESOLVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
 22. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE LOCAL PRACTICE. TREES AND SHRUBS SHOULD BE INSTALLED DURING THE FOLLOWS FALL AND SPRING SEASONS, WITH THE EXCEPTION OF TREES WHICH EXPERIENCE A FALL DIGGING HAZARD WHICH SHOULD ONLY BE PLANTED IN THE SPRING.
 23. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF 2 YEARS FROM THE TIME OF LANDSCAPE APPROVAL BY TOWNSHIP LANDSCAPE ARCHITECT AND/OR REVIEWING AUTHORITY.

ABB.	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE
SHRUBS				
IV	<i>tea virginica "Henry's Gamet"</i>	Henry's Gamet Sweetpea	5	2.5'-3' High
ORNAMENTAL GRASSES				
CAK	<i>Calamagrostis x acutiflora "Karl Foerster"</i>	Karl Foerster	40	2 Gal.
PVSH	<i>Panicum virgatum "Shenandoah"</i>	Shenandoah Switch Grass	60	2 Gal.



LEGEND	
EXISTING SYMBOLS & LINES	PROPOSED SYMBOLS & LINES
STORM DRAIN	PROPOSED LOT LINE
SANITARY LINE	SETBACK LINE
GAS LINE	FENCE
WATER LINE	BUILDING
ELECTRIC LINE	CURB LINE
OVERHEAD WIRE	DEPRESSED CURB LINE
TRAIL LINE (TYPE AS NOTED)	TRAFFIC SIGN
PROPERTY RIGHT-OF-WAY LINE	CONCRETE SIDEWALKPAD
ZONING BOUNDARY	PARKING ROW COUNT
UTILITY BASSINET	DOOR
CONTOUR LINE	EV CHARGING STATION
HYDRANT	BIKE RACK
STREET LIGHT	ADA DETECTABLE WARNING SURFACE
ABSOLUTE	
SIGNAL POLE	
POLE	
ANCHOR POLE	
MANHOLE (TYPE AS LABELED)	
WATER VALVE	
GAS VALVE	
UNKNOWN VALVE	
CATCH BASIN	
CLEAN OUT	
TREE	
BENCH MARK	
BOLLARD	
METAL COVER	
ELECTRIC BOX	
DOOR	
DOUBLE DOOR	
GARAGE DOOR	
WHEEL STOP	
(TR)	TO REMAIN
(TBR)	TO BE REMOVED



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PREVENTATIVE AND CORRECTIVE MAINTENANCE ACTION PLAN

AS PER N.J.A.C. 7:8-6.8(a) & (b), PREVENTATIVE AND CORRECTIVE MAINTENANCE SHALL BE PERFORMED TO MAINTAIN THE FUNCTION OF THE STORMWATER MANAGEMENT MEASURES, INCLUDING BUT NOT LIMITED TO: REPAIR OR REPLACEMENT TO THE STRUCTURE; REMOVAL OF SEDIMENT, DEBRIS, OR TRASH; RESTORATION OF ERODED AREAS; SNOW AND ICE REMOVAL; FENCE REPAIR OR REPLACEMENT; RESTORATION OF VEGETATION; AND REPAIR OR REPLACEMENT OF NON-VEGETATED LAWNS.

AS PER N.J.A.C. 7:8-6.8(a) & (b), PREVENTATIVE AND CORRECTIVE MAINTENANCE PLANS SHOULD INCLUDE SPECIFIC PREVENTATIVE AND CORRECTIVE MAINTENANCE TASKS SUCH AS: REMOVAL OF SEDIMENT, TRASH, AND DEBRIS; MOWING, TRIMMING, AND RESTORATION OF VEGETATION; RESTORATION OF ERODED AREAS; ELIMINATION OF MOSQUITO BREEDING HABITATS; CONTROL OF AQUATIC VEGETATION; AND REPAIR OR REPLACEMENT OF DAMAGED OR DEGRADED COMPONENTS.

AS PER NJDEP BMP MANUAL, CH. 8 (FEB. 2004), MAINTENANCE PLANS SHOULD INCLUDE RECOMMENDED CORRECTIVE RESPONSES TO VARIOUS EMERGENCY CONDITIONS THAT MAY BE ENCOUNTERED AT THE STORMWATER MANAGEMENT MEASURE. IT SHOULD BE NOTED THAT IF THE STORMWATER MANAGEMENT MEASURE INCLUDES A CLASS OR II DRAIN AS DEFINED IN THE NJDEP DAM SAFETY STANDARDS AT N.J.A.C. 7:26, AN EMERGENCY ACTION PLAN FOR THE DAM IS ALSO REQUIRED. SEE N.J.A.C. 7:26-1.19 FOR MORE INFORMATION.

AS PER NJDEP BMP MANUAL, CH. 8 (FEB. 2004), THE MAINTENANCE PLAN SHOULD ADDRESS THE MAINTENANCE OF ACCESS POINTS TO THE STORMWATER MANAGEMENT MEASURES IN ACCORDANCE WITH THE FOLLOWING:

- ALL COMPONENTS OF THE STORMWATER MANAGEMENT MEASURES MUST BE READILY ACCESSIBLE FOR INSPECTION AND MAINTENANCE.
- TREES, SHRUBS, AND UNDERBRUSH MUST BE PRUNED OR TRIMMED AS NECESSARY TO MAINTAIN ACCESS TO THE STORMWATER MANAGEMENT MEASURE VIA ROADWAYS, PATHS, AND RAMPS, INCLUDING PATHS THROUGH PRUNED VEGETATION TO PERMANENT POOLS, AQUATIC BENCHES, AND SAFETY LEDGES TO ALLOW FOR THE INSPECTION AND CONTROL OF MOSQUITO BREEDING AND
- THE EXACT LIMITS OF INSPECTION AND MAINTENANCE EASEMENTS AND RIGHTS-OF-WAY SHOULD BE SPECIFIED ON STORMWATER MANAGEMENT MEASURE PLANS AND INCLUDED IN THE MAINTENANCE PLAN.

PREVENTATIVE MAINTENANCE ACTIONS

Frequency	Preventative Maintenance Actions
Monthly	Vegetation mowing and removal in growing season
Quarterly	Quarterly Inspection (Sediment removal, depending on the type of measure)
Annual	Basin Structural Inspection
Biennial	Sand layer replacement for sand filter and infiltration basin only
Unscheduled	Quick inspection after every 1" rain

CORRECTIVE MAINTENANCE ACTIONS

DEPENDENT ON MANY FACTORS, SUCH AS THE PERFORMANCE OF PREVENTATIVE MAINTENANCE ACTIONS, WEATHER, OR UNEXPECTED INCIDENTS, CORRECTIVE MAINTENANCE REQUIREMENTS MAY NOT BE PRECISELY ANTICIPATED. HOWEVER, A LIST OF POTENTIAL CORRECTIVE MAINTENANCE ACTIONS MAY ASSIST THE RESPONSIBLE PARTY IN PLANNING AND ESTIMATING COSTS IN ADVANCE.

POTENTIAL CORRECTIVE MAINTENANCE ACTIONS:

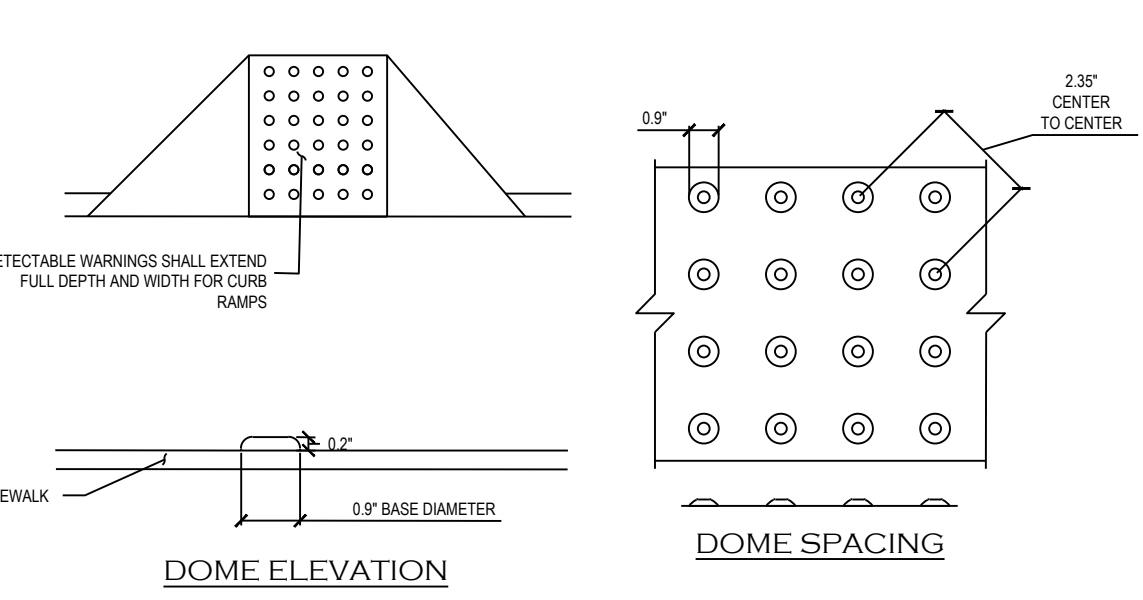
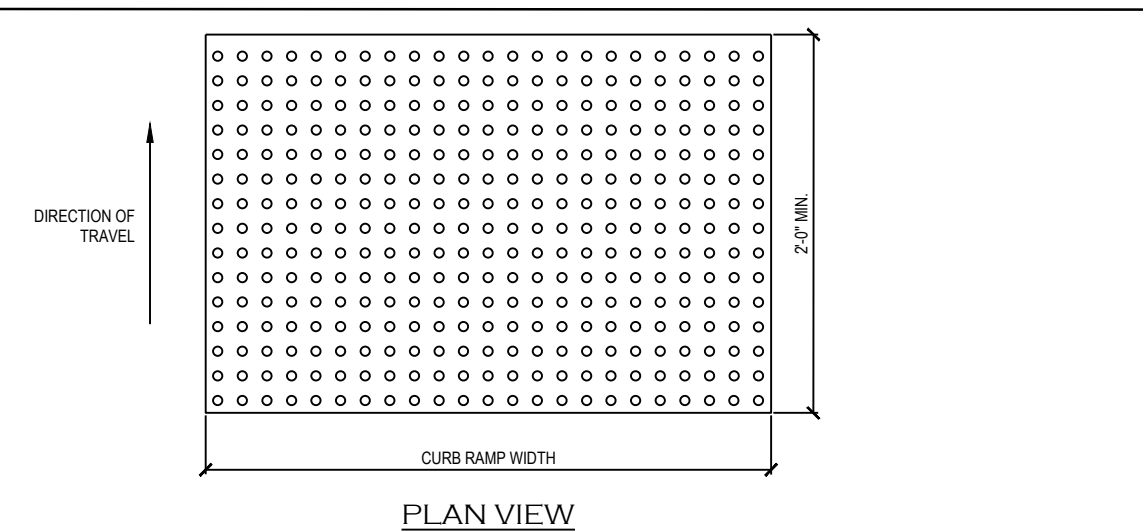
- REPAIR/REPLACEMENT OF ERODED OR DAMAGED BROW APRON
- REPAIR/REPLACEMENT OF MISSING OR DAMAGED TRASH RACKS
- REPAIR/REPLACEMENT OF OUTLET PIPES OR ORIFICES
- REVEGETATION OF ERODED SOLE/SLOPE, AQUATIC BENCH, MARSH BASIN, BOTTOM, GRASS SWALES, ETC.

INSPECTION AND LOGS OF ALL PREVENTATIVE AND CORRECTIVE MAINTENANCE

AS PER N.J.A.C. 7:8-6.8(b), THE PERSON RESPONSIBLE FOR MAINTENANCE SHALL MAINTAIN A DETAILED LOG OF ALL PREVENTATIVE AND CORRECTIVE MAINTENANCE FOR THE STRUCTURAL STORMWATER MANAGEMENT MEASURES INCORPORATED INTO THE DESIGN OF THE DEVELOPMENT, INCLUDING A RECORD OF ALL INSPECTIONS AND COPIES OF ALL MAINTENANCE-RELATED WORK ORDERS.

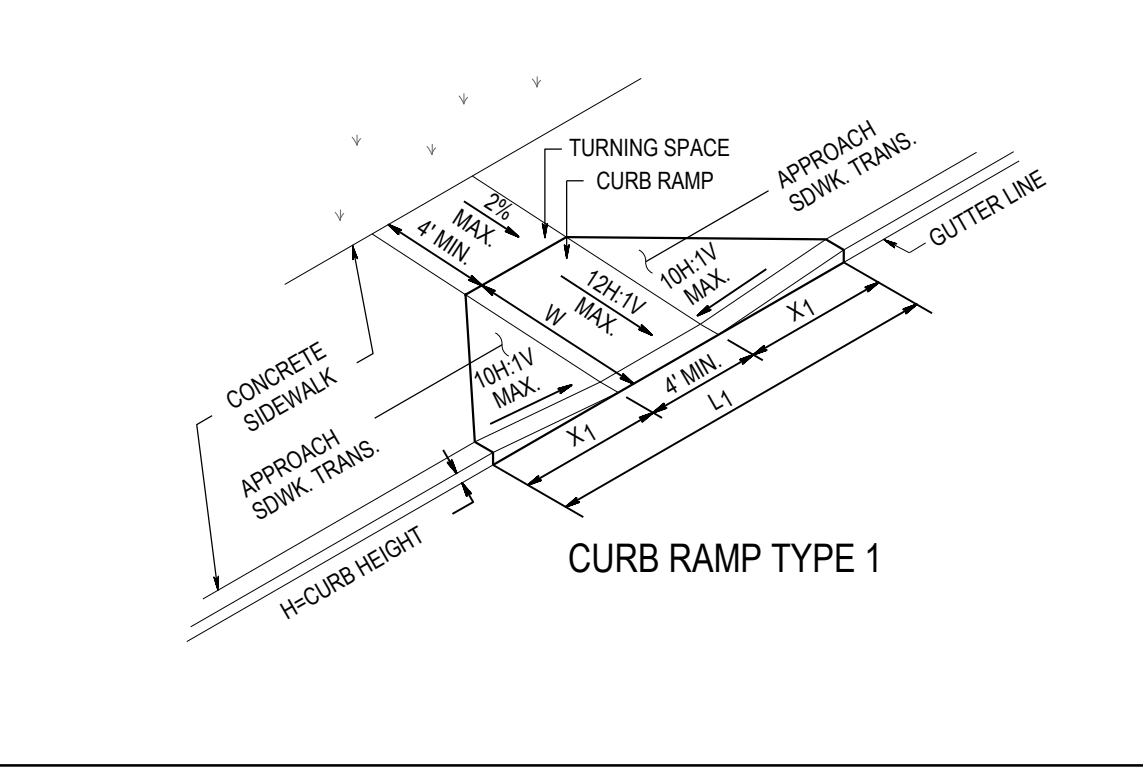
AS PER NJDEP BMP MANUAL, CH. 8 (FEB. 2004), A MAINTENANCE PLAN SHALL INCLUDE A SCHEDULE OF REGULAR INSPECTIONS AND TASKS, AND DETAILED LOGS OF ALL PREVENTATIVE AND CORRECTIVE MAINTENANCE PERFORMED ON THE STORMWATER MANAGEMENT MEASURE, INCLUDING ALL MAINTENANCE-RELATED WORK ORDERS. THE PERSON WITH MAINTENANCE RESPONSIBILITY MUST RETAIN AND, UPON REQUEST, MAKE AVAILABLE THE MAINTENANCE PLAN AND ASSOCIATED LOGS AND OTHER RECORDS FOR REVIEW BY A PUBLIC ENTITY WITH ADMINISTRATIVE, HEALTH, ENVIRONMENTAL, OR SAFETY AUTHORITY OVER THE SITE.

SWM MAINTENANCE PLAN

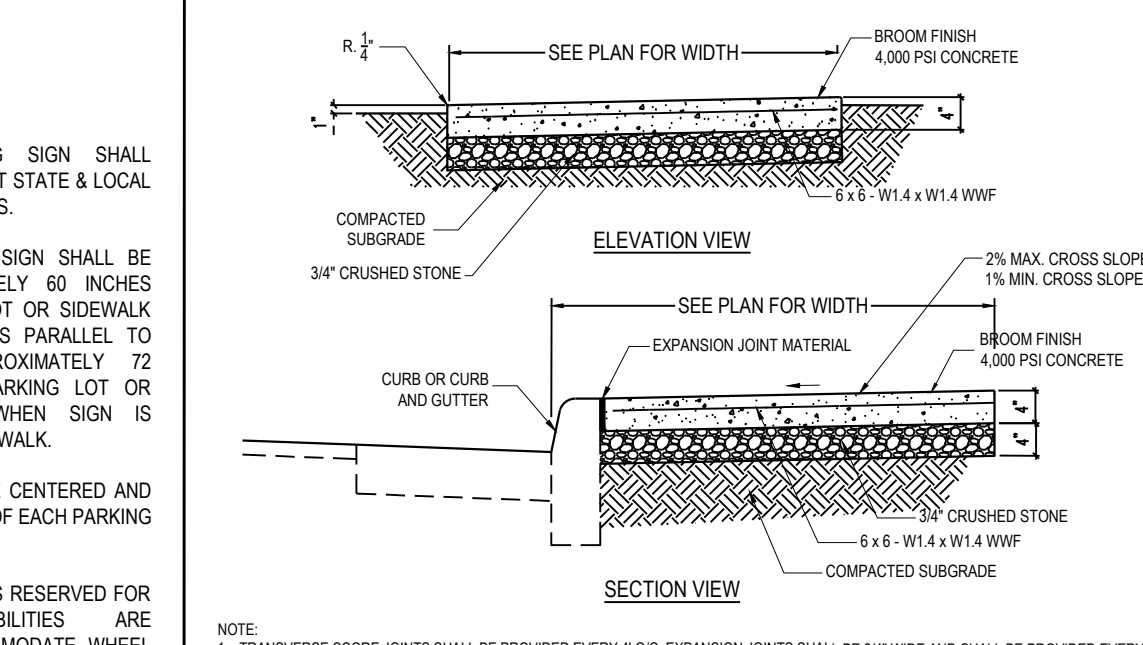


- NOTES:
- DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED PER MANUFACTURER'S SPECIFICATIONS.
 - WIDTH OF DETECTABLE WARNING AREA SHALL BE FULL WIDTH OF RAMP.
 - LENGTH OF DETECTABLE WARNING AREA SHALL BE MINIMUM 2 FEET REGARDLESS OF SECTION WIDTH. FOR CURB RAMPS, THE DETECTABLE WARNING SHALL EXTEND THE FULL DEPTH OF THE RAMP AND COMPLY WITH ADAAG 4.29.2.
 - DETECTABLE WARNING AREA CAN BE SQUARE WHERE USED IN A CURB RADIUS.
 - DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID PARALLEL ALONG THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO TRAVEL BETWEEN DOMES.
 - DETECTABLE WARNING DOMES SHALL BE PLACED SO THE EDGE NEAREST THE CURB IS 6 INCHES TO 8 INCHES FROM CURB LINE.
 - MAT EDGES SHALL BE BEVELLED TO ELIMINATE TRIP HAZARD.
 - DETECTABLE WARNING COLOR SHALL CONTRAST WITH ADJACENT SURFACES PER CURRENT ADA REGULATIONS. CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR APPROVAL.
 - CONTRACTOR SHALL OBTAIN LOCAL AUTHORITY, OWNER'S ENGINEER, AND OWNER'S APPROVAL FOR COLOR AND MANUFACTURER PRIOR TO INSTALLATION.

ADA DETECTABLE WARNING SURFACE

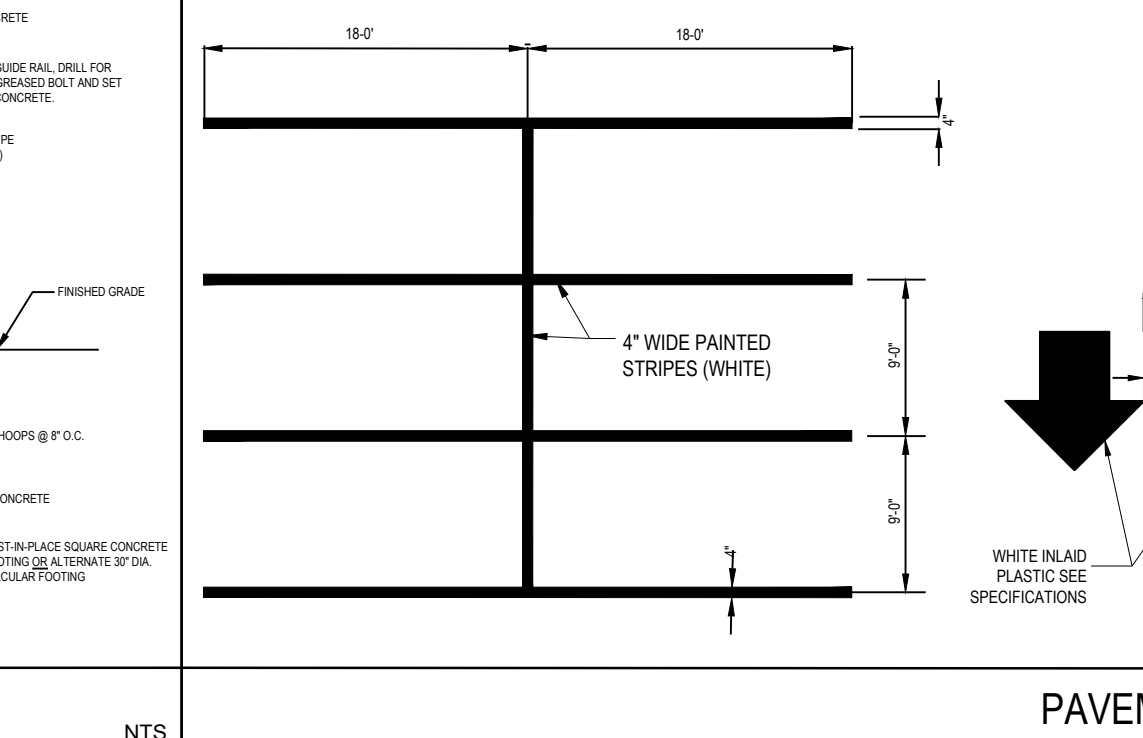


ACCESSIBLE CURB RAMP

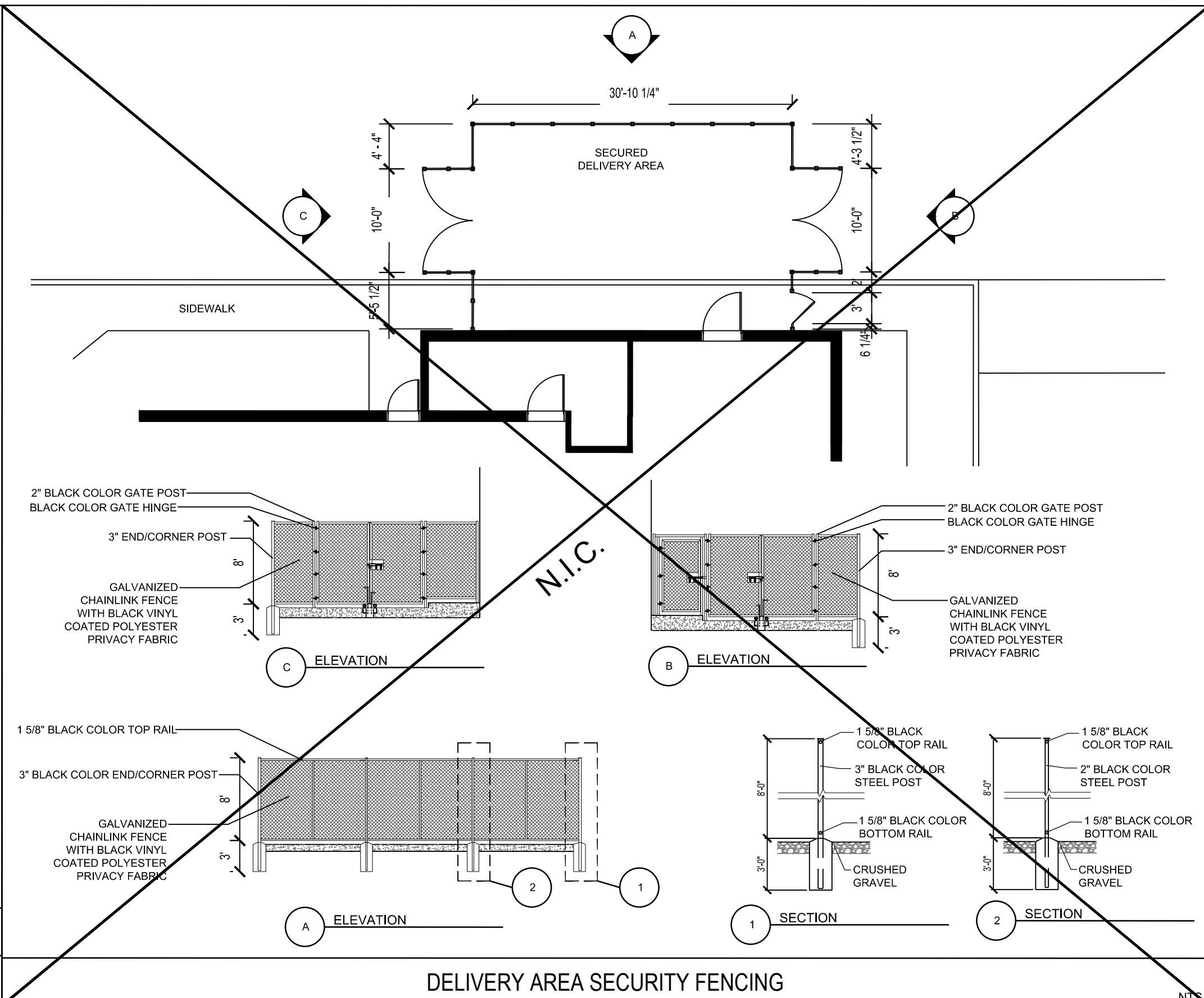


- NOTES:
- TRANSVERSE JOINTS SHALL BE PROVIDED EVERY 4' O.C. EXPANSION JOINTS SHALL BE 3/4" WIDE AND SHALL BE PROVIDED EVERY 16' O.C. RECESSED 1/4" FROM THE TOP OF FACE AND SHALL BE PREFORMED BITUMINOUS IMPREGNATED FIBER JOINT FILLER PER AASHTO SPEC. M-219 IN ACCORDANCE WITH TOWNSHIP STANDARDS.
 - ALL SIDEWALKS TO HAVE A BROOM FINISH TO ENSURE A SLIP-RESISTANT SURFACE.
 - CLASS III CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRESS OF 4,000 PSI.
 - CONTRACTOR TO PROVIDE SMOOTH FINISH EDGE FOR THE BROOM FINISH OF THE SIDEWALK. CONTRACTOR MUST PROVIDE SHOP DRAWING TO DESIGN ENGINEER PRIOR TO CONSTRUCTION.
 - ALL SIDEWALKS SHALL BE CONSTRUCTED WITH 4,000 PSI CONCRETE AND SEALED/ACURED WITH ACRUARD 2000 OR APPROVED EQUAL AS SOON AS FORMS ARE REMOVED.

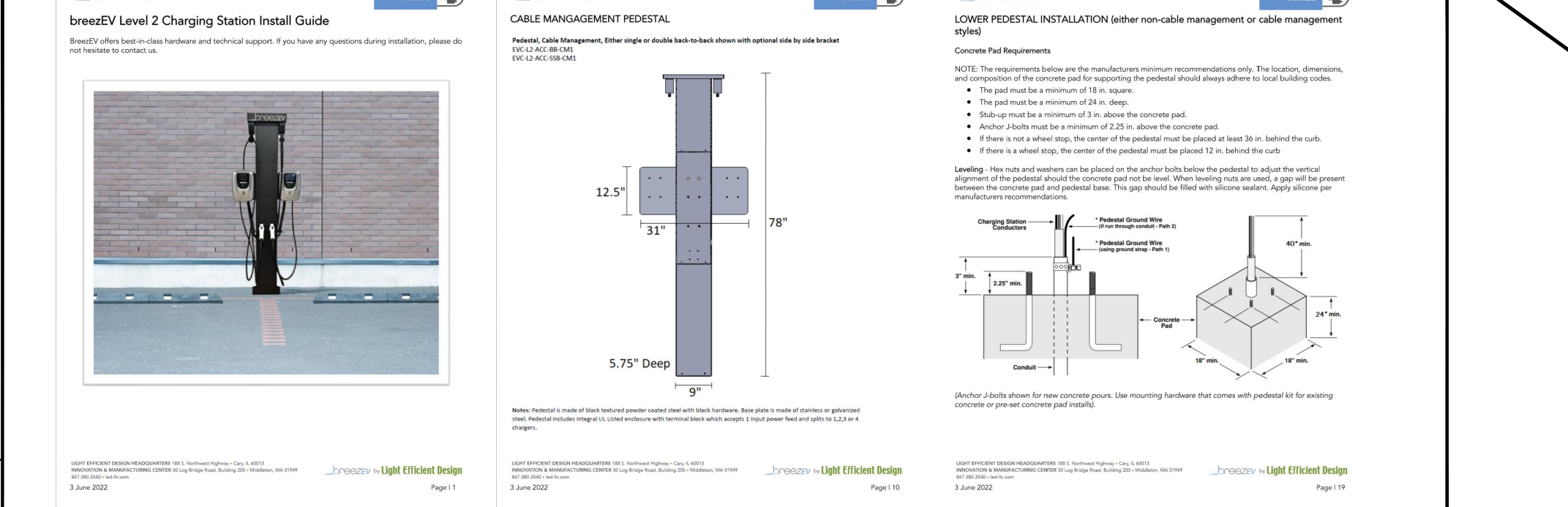
SIDEWALK



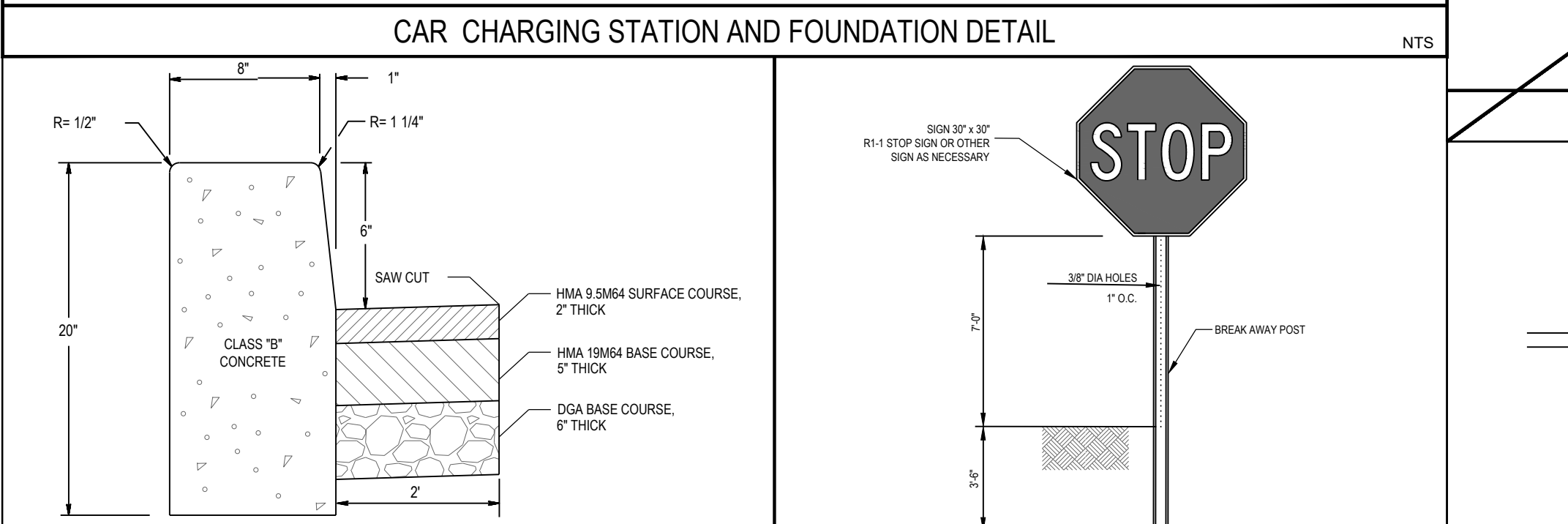
PAVEMENT MARKING



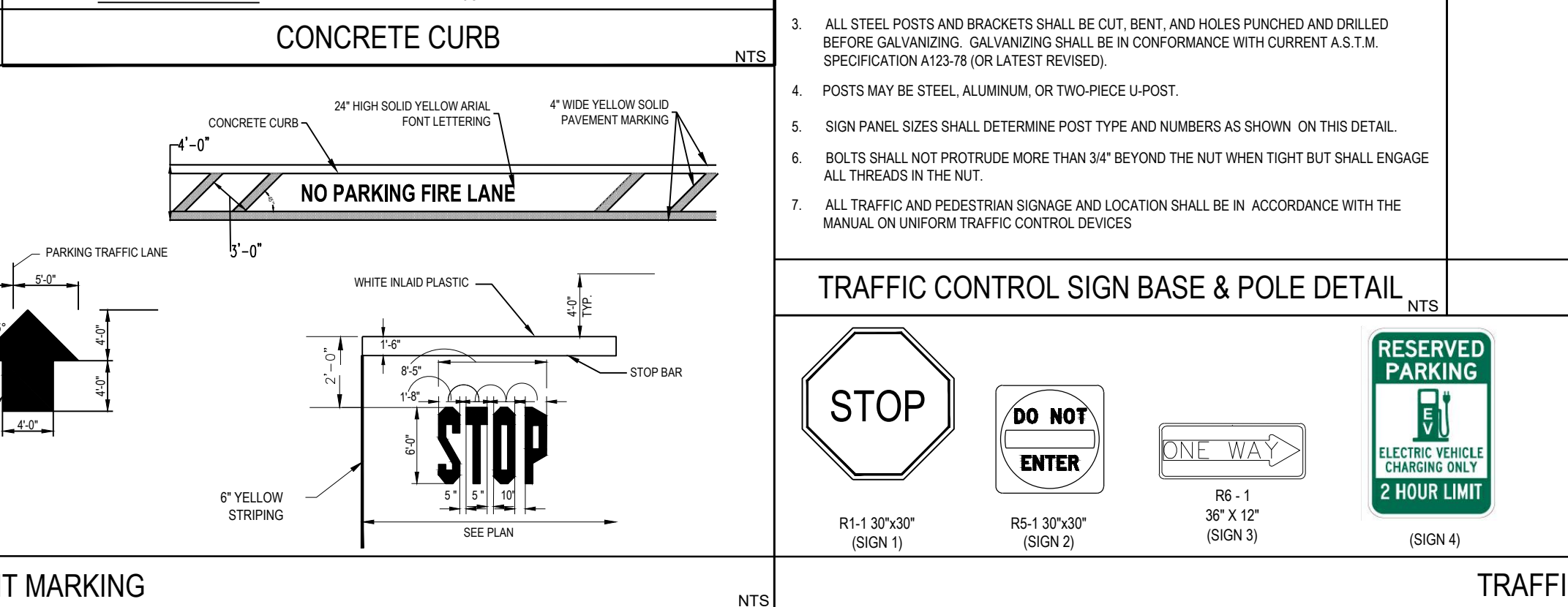
DELIVERY AREA SECURITY FENCING



CAR CHARGING STATION AND FOUNDATION DETAIL



CONCRETE CURB



PAVEMENT MARKING

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- Tensile Strength: 375 lbs. x 300 lbs
- Fabrication: Four ply, reinforced stems with reinforced 18oz. vinyl tape on all sides. #2 brass grommets placed at 18" intervals.

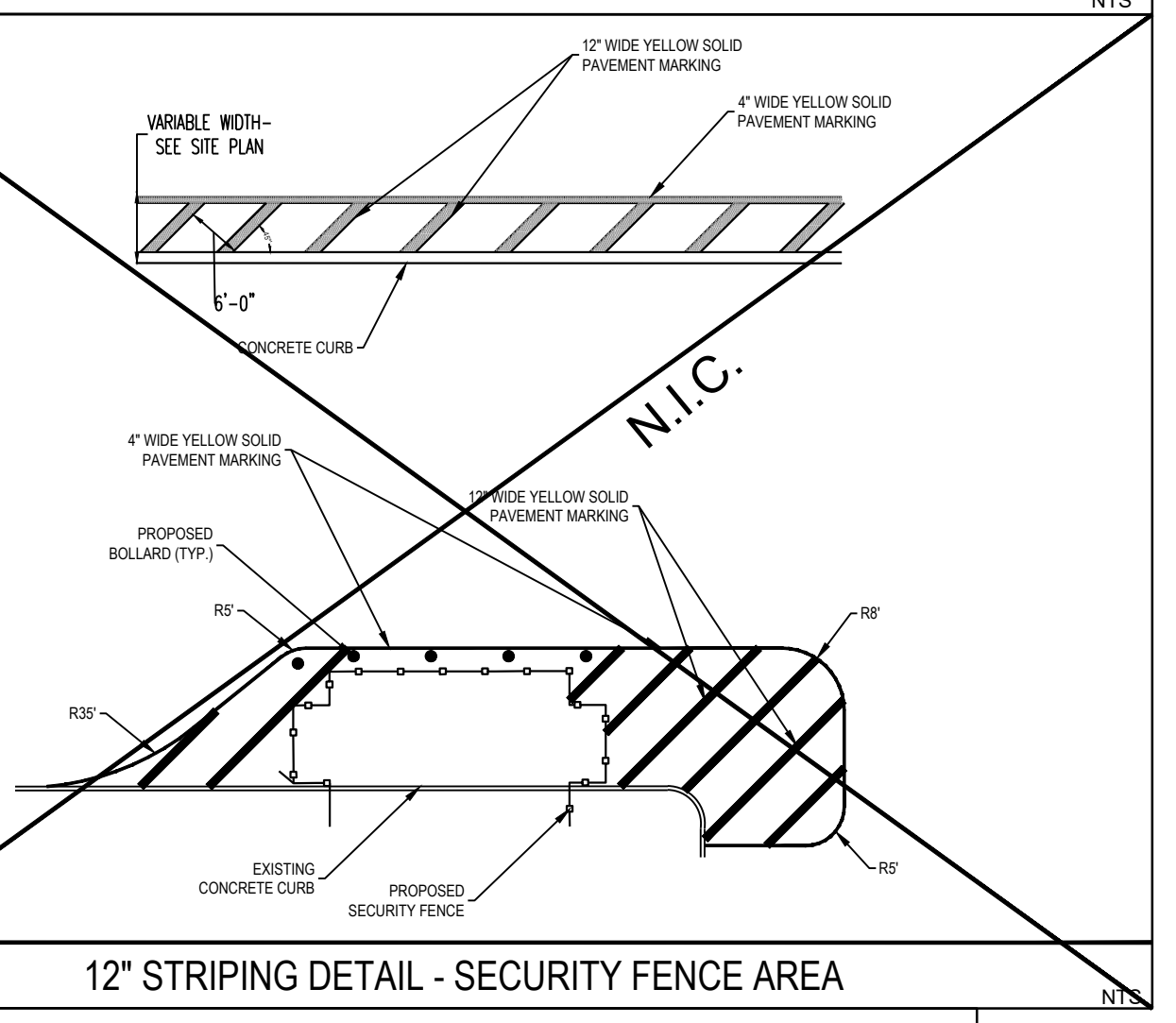
Available in:

- Black
- Royal Blue
- Green

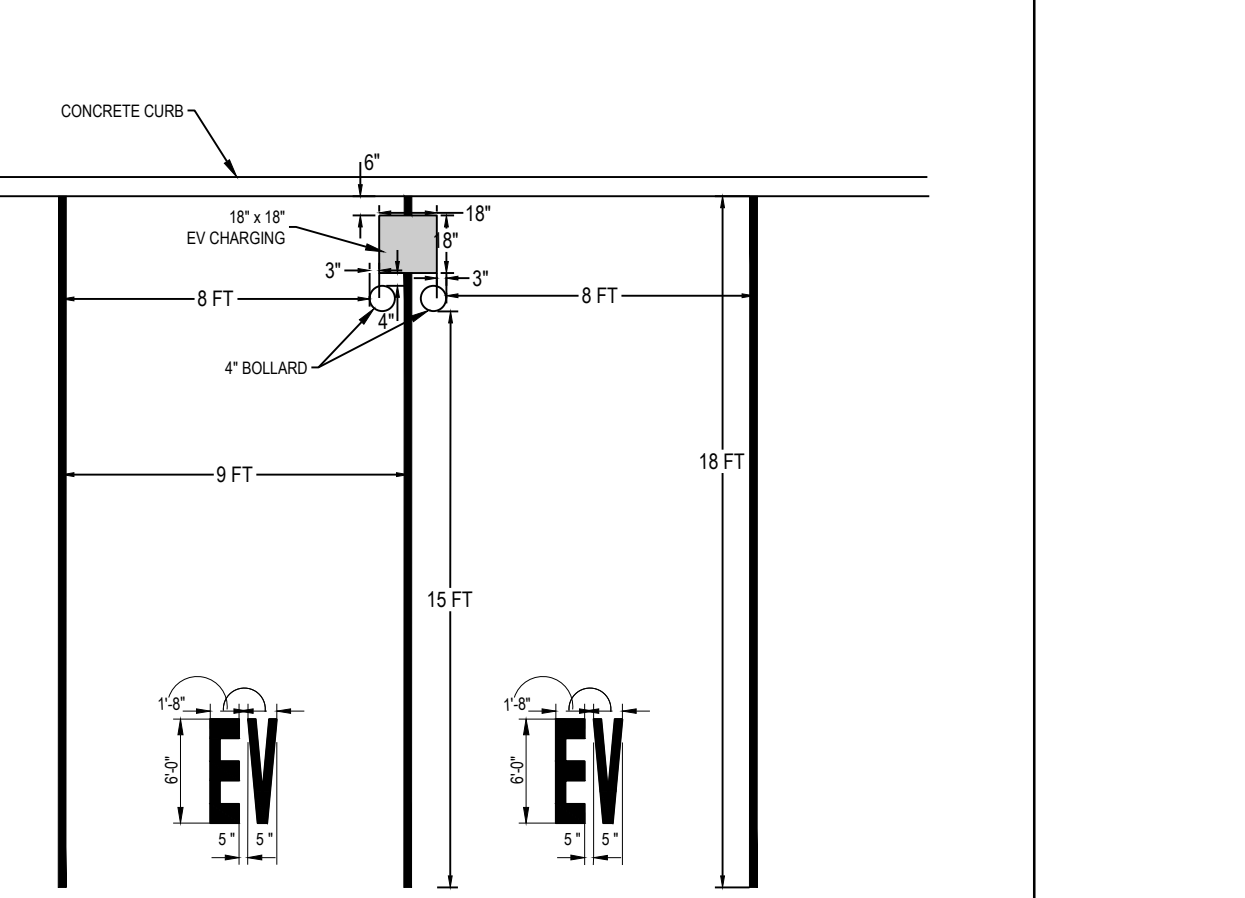
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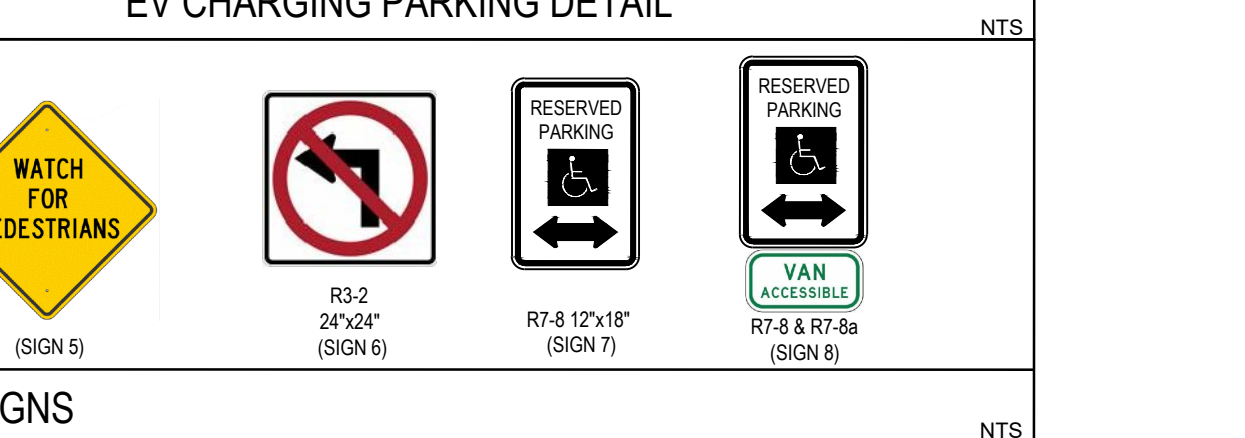
SECURITY FENCING PRIVACY SCREEN



12" STRIPING DETAIL - SECURITY FENCE AREA



EV CHARGING PARKING DETAIL



TRAFFIC SIGNS

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Project: ENLIGHTEN HEALTH AND WELLNESS, ADAPTIVE REUSE OF MARLTON DINER

Block No. 3, Lot No. 2.02
EVESHAM TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY

Drawing Title: CONSTRUCTION DETAILS

CHIRAG V. THAKKAR, P.E.
PROFESSIONAL ENGINEER
N.J.LIC. NO. 24GE0451600

DATE	COMMENTS	NO.
01-28-25	REVISED PLAN	4.
04-04-23	REVISED PLAN	3.
12-15-22	REVISED PLAN	2.
09-20-22	REVISED PLAN	1.

REVISIONS		
Project No.	230017901	
Date	08/10/2022	
Scale	N.T.S.	
Drawn By	AG	
Checked By	CT	
Drawing No.	CS-501	

Sheet 6 of 7

DATE	COMMENTS	NO.
01-28-25	REVISED PLAN	4.
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REVISIONS

Project No.	230017901
Date	08/10/2022
Scale	AS SHOWN
Drawn By	AG
Checked By	CT

Drawing No.
CS-502

