



AUTOZONE TENANT FIT-OUT

STORE #6524

775 ROUTE 70 WEST
MARLTON, NJ 08053



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DISTRIBUTION:	DATE:
00 BID	05-23-24
0 PERMIT	06-25-24
1 BID CONFORMANCE	06-28-24
2 REVISION 2	03-24-25
3 SITE PLAN WAIVER	04-23-25

PROJECT INFO:

PROJECT NUMBER: 10155
DRAWN BY: MMP, HLF
CHECKED BY: MEV, JMD

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DRAWING NAME + NUMBER

COVER SHEET & CODE ANALYSIS

A-0

GENERAL NOTES FOR PROGRAM

- GENERAL CONTRACTOR TO PROVIDE PRELIMINARY SCHEDULE/PHASING PLAN INTO CONSTRUCTION SCHEDULE WITH INCORPORATES PEP BOYS SERVICE TO REMAIN OPEN DURING RE-DEMISE WORK. FINAL COORDINATION OF PLAN SHALL BE MUTUALLY ACCEPTED BY ALL PARTIES.
- AUTOZONE GENERAL CONTRACTOR TO SCOPE AND VERIFY EXISTING SANITARY LINE INVERTS PRIOR TO BID SUBMISSION. SUBSEQUENT RESULTS TO BE DELIVERED TO AUTOZONE & PEP BOYS.
- ASBESTOS TESTING SHALL BE BY AUTOZONE AND COMPLETED AT A MINIMUM OF ONE MONTH PRIOR TO AUTOZONE CONSTRUCTION START. TESTING TO BE PERFORMED BY LICENSED PROFESSIONAL WITH ALL RESULTS RETURNED TO AUTOZONE AND PEP BOYS. ANY POSITIVE TEST RESULTS, REQUIRING REMEDIATION, WILL BE THE RESPONSIBILITY OF PEP BOYS.
- THE FIRE ALARM & SPRINKLER ALARMED EVENTS ARE MONITORED BY VECTOR SECURITY. THEREFORE ALL CONSTRUCTION WORK, OR ANY WORK WHICH COULD CREATE AN "ALARMED EVENT" MUST BE COORDINATED, IN ADVANCE, BY AUTOZONE GENERAL CONTRACTOR THROUGH PEP BOYS SITE SPECIFIC STORE MANAGER. PEP BOYS STORE MANAGER SHALL COORDINATE WITH VECTOR PROGRAM MANAGER.
- ALL WORK SHALL BE COMPLETED IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE & LOCAL CODES, AND ZONING ORDINANCES.
- ALL WORK SHALL BE COMPLETED IN A PROFESSIONAL MANNER.
- PEP BOYS SERVICE WILL REMAIN OPEN DURING RE-DEMISE. TENANT CONTRACTOR SHALL COORDINATE WORK TIMES WITH PEP BOYS STORE MANAGER & PROJECT MANAGER REPRESENTATIVE PRIOR TO INITIATING DEMISING WORK. SOME AFTER HOUR WORK MAY BE REQUIRED.
- DEVIATION FROM PEP BOYS LAYOUT, FINISHES AND PROVIDED SPECIFICATIONS REQUIRE WRITTEN APPROVAL FROM PEP AND/OR THEIR REPRESENTATIVE.

FIRE ALARM SYSTEM

DESIGN OF, AND POTENTIAL REQUIRED UPGRADES, OF EXISTING BUILDING FIRE ALARM SYSTEM FOR TENANTS WILL BE RESPONSIBILITY OF THE AUTOZONE GENERAL CONTRACTOR. ALL DESIGN, SYSTEM UPGRADES, DEVICES, INSTALLATION, PROGRAMING, COORDINATION WITH VECTOR (MONITORING AGENT), AND OTHER REQUIREMENTS TO MEET CODE AND GAIN CERTIFICATE OF OCCUPANCY, MONITORING OF FINAL SYSTEM WILL BE BY VECTOR SECURITY, A PEP BOYS NATIONAL VENDOR.

AUTOZONE GENERAL NOTES

- AUTOZONE SIGNAGE SHOWN WITHIN THESE DOCUMENTS (EITHER BUILDING OR FREESTANDING) SHALL BE SUPPLIED BY AUTOZONE, INC. AND INSTALLED BY THE SIGN VENDOR AT LOCATIONS INDICATED ON THE DRAWINGS. BUILDING WALL SURFACES SHALL BE MADE READY TO RECEIVE SIGNAGE BY THE GENERAL CONTRACTOR.
- THE FOLLOWING ITEMS IF REQUIRED BY THE DOCUMENTS WILL BE SUPPLIED BY AUTOZONE, INC. AND INSTALLED BY THE GENERAL CONTRACTOR:
 - ALL LIGHT FIXTURES, LAMPS, BALLASTS, ELECTRICAL PANELS, BREAKERS AND GEAR.
 - ELECTRIC WATER HEATER.
 - NEW HVAC ROOF-TOP UNITS, ROOF CURBS OR ADAPTERS, FIRESTATS, SMOKE DETECTORS AND THERMOSTATS, REFER TO SHEET M-1.
 - VENSTAR HVAC AND LIGHTING CONTROLS.
 - BEST CYLINDER LOCKS FOR GLASS AND ALUMINUM ENTRY DOORS, AND FOR TELEPHONE CLOSET DOOR.
- ALL UTILITIES SHALL REMAIN IN PEP BOYS NAME.
- PHONEBOARD, PHONE EQUIPMENT AND ALARM EQUIPMENT INSTALLATION SHALL BE ACCOMPLISHED PRIOR TO COMPLETION OF THE PROJECT. FOR FURTHER INFORMATION PLEASE CALL ALARM SERVICES DEPARTMENT 8090: (901) 495-6699 OR (901) 495-7197.
- AUTOZONE CONTRACTOR SHOULD BE PREPARED FOR PROJECT PHASING IN PEP BOYS SPACE TO MAINTAIN PEP BOYS OPERATIONS DURING CONSTRUCTION. FINAL AGREEMENT OF PHASING TO OCCUR AT SITE KICK OFF MEETING.
- CONTRACTOR SHALL PROVIDE SEPARATE PROPOSAL TO AUTOZONE FOR ALL WORK FOR PEP BOYS.
- CONTRACTOR SHALL SURVEY SANITARY INVERTS PRIOR TO CONSTRUCTION START AND VERIFY PROPER SLOPE REQUIREMENTS AT NEW RESTROOMS.

DEFERRED SUBMITTALS:

- SIGNAGE TO BE UNDER SEPARATE PERMIT.
- SHELVING AND RACKING TO BE UNDER SEPARATE CONTRACT/PERMIT.
- FIRE ALARM MODIFICATION DRAWINGS, WHERE REQUIRED.
- SPRINKLER MODIFICATION DRAWINGS, WHERE REQUIRED.

FIRE CODE AND LIFE SAFETY NOTES

- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. EXCEPTION: MAIN EXIT DOOR HAS KEY LOCKING HARDWARE. GENERAL CONTRACTOR SHALL PROVIDE A READABLE, DURABLE SIGN, ON OR ADJACENT TO THE EXIT DOOR, STATING "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED". SIGN TO BE ONE INCH HIGH LETTERS ON A CONTRASTING BACKGROUND.
- MAINTAIN ONE HOUR FIRE RESISTIVE WALL CONSTRUCTION AT BUILT-IN FIXTURES SUCH AS FIRE EXTINGUISHER CABINETS, AND ELECTRICAL PANELS EXCEEDING 16 SQUARE INCHES IN AREA.
- A MINIMUM OF ONE 2A 10BC CLASSIFICATION FIRE EXTINGUISHER SHALL BE PROVIDED WITHIN 75' TRAVEL DISTANCE FOR EACH 6,000 SQ. FT. OR PORTION THEREOF ON EACH FLOOR. TO BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR.
- BUILDING ADDRESS LETTERS SHALL BE LOCATED ON BUILDING EXTERIOR IN ACCORDANCE WITH THE CITY MUNICIPAL CODE. ADDRESS NUMERALS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR.
- CONTRACTOR TO SECURE ALL PERMITS REQUIRED BY THE FIRE PREVENTION BUREAU PRIOR TO OCCUPANCY OF THIS BUILDING.
- EXIT SIGNS ARE REQUIRED FOR ALL EXITS SERVING AN OCCUPANT LOAD EXCEEDING 50. SEE ELECTRICAL DRAWINGS FOR LOCATIONS.
- INTERIOR FINISHES TO HAVE A FLAME SPREAD RATING OF 25 OR LESS.
- FLAMMABLE AND COMBUSTIBLE MATERIAL WILL NOT EXCEED THE MAXIMUM ALLOWED UNDER TABLE 3404.3.4.1 OF THE IFC OR TABLE 7902.5-B OF THE UFC. THERE WILL BE NO HIGH PILED STORAGE AS DEFINED BY EITHER CODE.
- ALL NEW WALL INSULATION IF INSTALLED UNDER THIS CONTRACT TO HAVE A FLAME SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE DEVELOPMENT RATING OF NOT MORE THAN 450. NEW ROOF COVERING IF INSTALLED UNDER THIS CONTRACT WILL BE CLASS "A".
- SUBMITTALS FOR SPRINKLER SYSTEM MODIFICATION AND ALARM WORK, WILL BE PROVIDED BY THE GENERAL CONTRACTOR SUB CONTRACTOR AND SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION START. GENERAL CONTRACTOR WILL ALSO HIRE INSTALLERS FOR SPRINKLER AND ALARM WORK.
- SUBMITTALS FOR SIGNAGE PERMITS WILL BY FURNISHED BY THE INSTALLING CONTRACTOR. SIGNAGE DRAWINGS CONTAINED IN THIS SET ARE FOR GENERAL INFORMATION ONLY.

CODE DATA

BUILDING CODE ANALYSIS
APPLICABLE CODES (W/ APPLICABLE STATEAMENDMENTS)
NEW JERSEY STATE UNIFORM CONSTRUCTION CODE BASED ON:

- NJICC REHAB SUBCODE CHAPTER 6
- 2021 INTERNATIONAL BUILDING CODE NEW JERSEY EDITION
- 2021 NATIONAL STANDARD PLUMBING CODE NEW JERSEY EDITION
- 2021 INTERNATIONAL MECHANICAL CODE NEW JERSEY EDITION
- 2020 NATIONAL ELECTRICAL CODE NFPA-70
- 2021 INTERNATIONAL FIRE CODE
- 2017 ICC A117.1
- 2021 INTERNATIONAL FUEL GAS CODE

CATEGORY OF WORK: ALTERATION

SQUARE FOOTAGE: 9,724 SF

TENANT FLOOR LEVEL: 1 FLOOR

BUILDING HEIGHT : ± 20'-0" (EXISTING)

SPINKLERED: FULLY SPRINKLERED

CONSTRUCTION TYPE: II-B UNPROTECTED (EXISTING)

OCCUPANCY TYPE: M - MERCANTILE (NEW)
S-1 STORAGE (NEW)

OCCUPANT LOAD: 94 PERSONS

NUMBER OF EXITS: 3

EXITING ANALYSIS

- MEANS OF EGRESS SIZING (SECTION 1005.3)
PER 1005.3.2 OTHER EGRESS COMPONENTS TO BE SIZED BY THE OCCUPANT LOAD MULTIPLIED BY 0.2 INCHES.

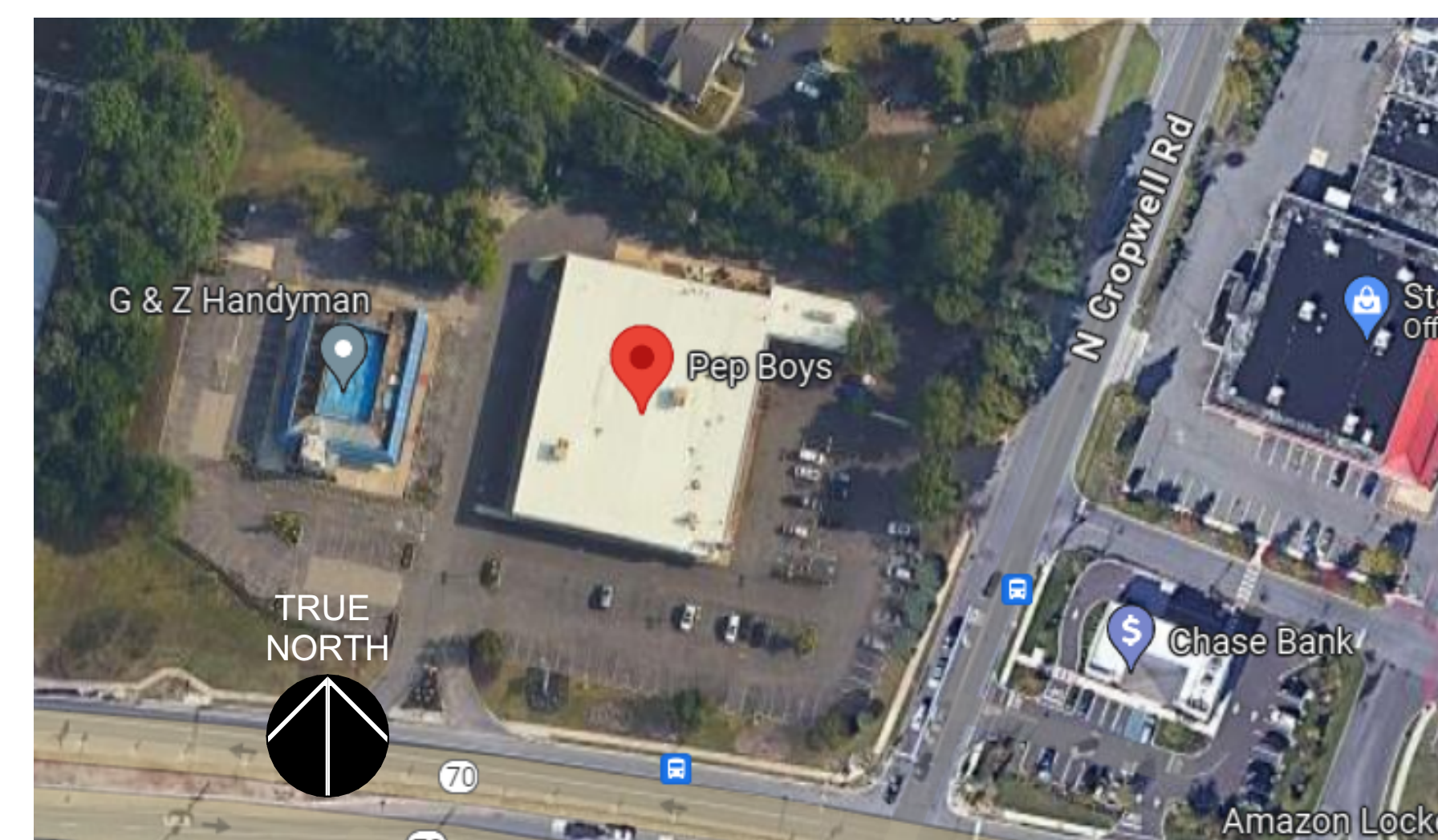
EGRESS AREA	OCCUPANT LOAD	REQUIRED EXIT (x0.2")	PROVIDED
AREA 1	94	18.8"	165"

- MAXIMUM TRAVEL DISTANCE (TABLE 1017.2, W/ SPRINKLER)
OCCUPANCY S-1 = 250'
OCCUPANCY M = 250'
- MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE (TABLE 1006.2.1, W/ SPRINKLER)
OCCUPANCY S-1 = 100'
OCCUPANCY M = 75'

OCCUPANCY AND AREA CALCULATIONS

ROOM #	ROOM NAME	USE GROUP	AREA (SF)	SF PER PERSON	OCC. CALC
EGRESS AREA 1					
100	RETAIL / SALES	M MERCANTILE	4,147	60	70
101	STORAGE AREAS	S-1 STORAGE	5,398	300	18
102	BREAK AREA	M MERCANTILE	11	60	1
102	BREAK AREA	M MERCANTILE	24	60	1
103	MEN'S RESTROOM	M MERCANTILE	75	60	2
104	WOMEN'S RESTROOM	M MERCANTILE	57	60	1
105	PHONE CLOSET	S-1 STORAGE	12	300	1
TOTALS:			9,724 ft²		94

LOCATION MAP



INDEX OF SHEETS			
SHEET	DRAWING TITLE	CURRENT ISSUE	DATE
A-0	COVER SHEET & CODE ANALYSIS	SITE PLAN WAIVER	04-23-25
A-0.1	EGRESS PLAN	PERMIT	06-25-24
A-0.2	ACCESSIBILITY DETAILS	PERMIT	06-25-24
AS-1	SITE PLAN	SITE PLAN WAIVER	04-23-25
D-1	DEMOLITION PLAN, NOTES & DETAILS	SITE PLAN WAIVER	04-23-25
D-2	DEMOLITION REFLECTED CEILING PLAN, NOTES & DETAILS	BID CONFORMANCE	06-28-24
A-1	FLOOR PLAN, KEYNOTES & DOOR SCHEDULE	SITE PLAN WAIVER	04-23-25
A-2	RESTROOM PLAN, INTERIOR ELEVATIONS, DETAILS & NOTES	BID CONFORMANCE	06-28-24
A-3	FIXTURE AND FINISH FLOOR PLAN, NOTES & DETAILS	BID CONFORMANCE	06-28-24
A-3.1	EXTERIOR ELEVATIONS	SITE PLAN WAIVER	04-23-25
A-4	REFLECTED CEILING PLAN & NOTES	BID CONFORMANCE	06-28-24
A-5	PARTITION TYPES & DETAILS	PERMIT	06-25-24
A-6	DOOR SCHEDULE, DOOR ELEVATIONS & DOOR NOTES	REVISION 2	03-24-25
A-7	ROOF PLAN & ROOF DETAILS	BID CONFORMANCE	06-28-24
S-100	STRUCTURAL PLAN & DETAILS AT DOOR HEAD ELEVATION	PERMIT	06-25-24
S-101	STRUCTURAL FRAMING PLAN & DETAILS AT ROOF ELEVATION	BID CONFORMANCE	06-28-24
M-1	AUTOZONE HVAC PLAN/NOTES/DETAILS	PERMIT	06-25-24
M-2	HVAC NOTES/DETAILS	PERMIT	06-25-24
P-1	PLUMBING PLANS/NOTES/DETAILS	PERMIT	06-25-24
P-2	PLUMBING FLOOR PLAN/DETAILS	PERMIT	06-25-24
E-1	AUTOZONE POWER PLAN/KEYNOTES	BID CONFORMANCE	06-28-24
E-2	AUTOZONE POWER PLAN/NOTES	BID CONFORMANCE	06-28-24
E-2.1	AUTOZONE DOOR ALARM AND EAS DETAILS	BID CONFORMANCE	06-28-24
E-3	AUTOZONE LIGHTING PLAN/DETAILS	PERMIT	06-25-24
E-4	AUTOZONE 1-LINE SERVICE DIAGRAM/PANEL SCHEDULES	PERMIT	06-25-24
E-5	AUTOZONE LIGHTING CONTROL PANEL/ TELEPHONE BOARD/PANEL DETAILS	PERMIT	06-25-24
E-6	AUTOZONE VENSTAR HVAC AND LIGHTING CONTROL	PERMIT	06-25-24

DESIGNERS OF RECORD

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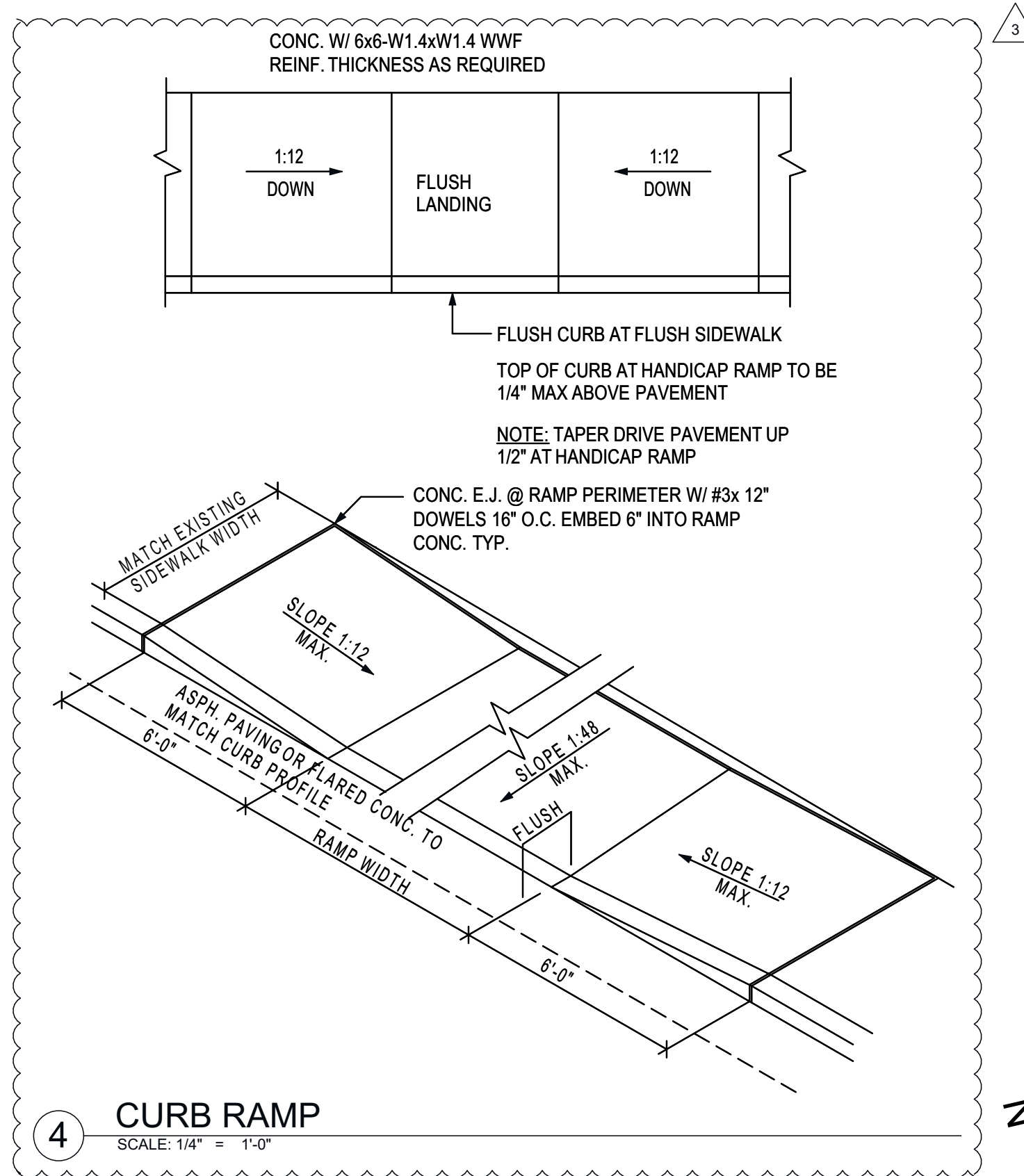
SITE PLAN NOTES

1. SITE PLAN IS FOR BUILDING REFERENCE ONLY.
2. ALL LANDSCAPE AND PARKING STALLS ARE EXISTING.
3. ALL DIMENSIONS ARE APPROXIMATE DIMENSIONS. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
4. ALL UTILITY CONNECTIONS ARE APPROXIMATE LOCATIONS. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL INCLUDE PRICE TO SAW CUT AND REMOVE (3) 10'x10' ASPHALT PAVEMENT SECTIONS AT POTHOLES, AND REPLACE TO MATCH EXISTING. WORK MUST BE APPROVED BY PEP BOYS PRIOR TO EXECUTION.
6. ALL SIGNAGE SHOWN IS FOR DESIGN INTENT ONLY. SIGNS ARE REVIEWED AND APPROVED SEPARATELY.
7. ALL SITE ELEMENTS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

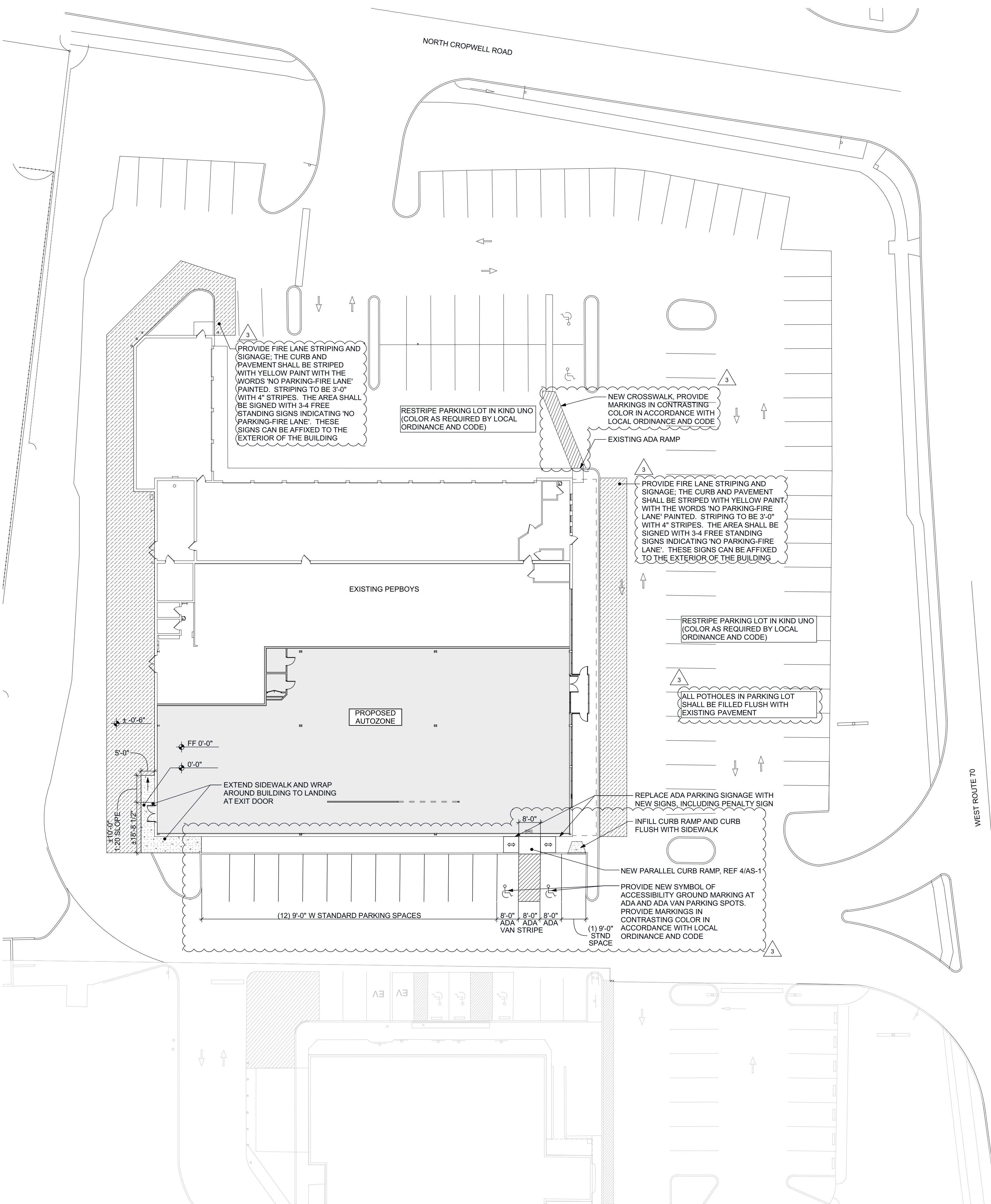


PROVIDE PENALTY SIGN AT EACH ADA PARKING SIGN AS REQUIRED BY LOCAL ORDINANCE

14 ADA SIGNAGE
SCALE: 1/4" = 1'-0"



4 CURB RAMP
SCALE: 1/4" = 1'-0"



1 SITE PLAN
SCALE: 1" = 20'



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DRAWING NAME + NUMBER

SITE PLAN
AS-1

AUTOZONE DEMOLITION NOTES

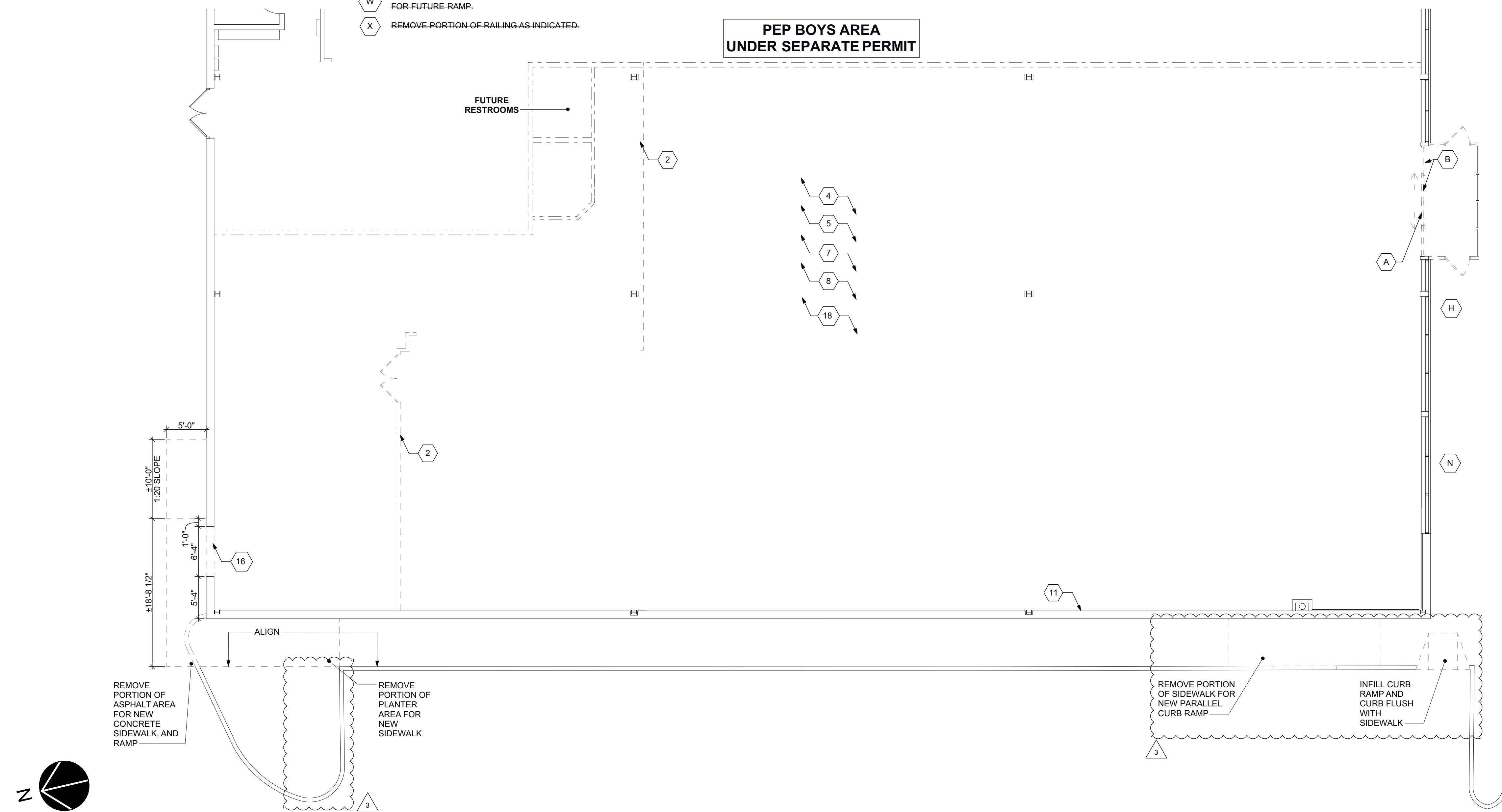
- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE DEMOLITION, PROPER DISPOSITION OR REUSE OF ALL ITEMS SHOWN ON DRAWING.
- THE GENERAL CONTRACTOR SHALL PROTECT AT ALL TIMES THE PROPERTY OF THE OWNER AND OTHER TENANTS IN THE BUILDING. THIS INCLUDES BUT IS NOT LIMITED TO WINDOWS, FLOORS, CEILING, TOILETS, DOORS, TRIM, AND ELECTRICAL EQUIPMENT OR OPENINGS CREATED BY THE REMOVAL OF ANY ITEM.
- ASBESTOS TESTING PRIOR TO CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/ TENANT. TESTING MUST BE COMPLETED BY GENERAL CONTRACTOR PRIOR TO ANY DEMOLITION OR CONSTRUCTION. ALL RESULTS MUST BE PROVIDED TO TENANT AND LL UPON RECEIPT OF ALL RESULTS.
- THE GENERAL CONTRACTOR SHALL DIRECT ALL NECESSARY SHORING, BRACING, TEMPORARY PARTITIONS, AND COVERING OF OPENINGS TO PROTECT THE EXISTING BUILDING WHILE DEMOLITION AND CONSTRUCTION IS IN PROGRESS.
- ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES DAILY, EXCEPT ITEMS TO BE RE-USED OR RETURNED TO THE OWNER OR AS DIRECTED OTHERWISE.
- PATCH AND REPAIR EXISTING CONSTRUCTION IMPACTED BY DEMOLITION TO RESTORE FINISH TO "LIKE NEW" CONDITION UNLESS DIRECTED OTHERWISE.
- DOOR HARDWARE, LIGHT FIXTURES, ETC. REMOVED AND NOT IMMEDIATELY RE-USED ARE TO BE STORED IN AN AREA DESIGNATED BY THE PROJECT MANAGER.
- TAKE PRECAUTION AGAINST ELECTRICAL AND FIRE HAZARDS DURING DEMOLITION. DO NOT INTERRUPT POWER IN OCCUPIED TENANT SPACES WITHOUT PRIOR NOTICE AND APPROVAL OF LANDLORD/OWNER.
- CONCRETE TO BE REMOVED SHALL BE WATER SAWCUT ONLY PRIOR TO REMOVAL IN ORDER TO PROTECT SLAB TO REMAIN. WHEN CUTTING/ GRINDING CONCRETE OR CMU, OR PERFORMING OTHER CONCRETE WORK, PROTECT ALL EXPOSED MERCHANDISE AND EQUIPMENT WITH SHEETS OF PLASTIC.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED SWITCH PLATES, WIRING OR EQUIPMENT. ALL WIRES AND CONDUIT NOT COMPLETELY REMOVED TO THE SOURCE MUST TERMINATE IN A JUNCTION BOX WITH COVER AND APPROPRIATE INSULATORS SUFFICIENT TO MAINTAIN COMPLIANCE WITH APPLICABLE CODES.
- ALL ITEMS GRAPHICALLY DEPICTED AS BEING DEMOLISHED SHALL BE REMOVED. THE KEY NOTES ARE A REFERENCE TO AID THE CONTRACTOR AND SHALL NOT BE INTERPRETED AS PRECISE INDICATIONS OF THE SCOPE OF DEMOLITION WORK DEPICTED IN THE DOCUMENTS.
- THE REMOVAL AND LEGAL DISPOSAL OF ANY ASBESTOS SHALL BE THE RESPONSIBILITY OF THE LANDLORD. THE GENERAL CONTRACTOR SHALL RECEIVE THE BUILDING AFTER ASBESTOS ABATEMENT HAS CONCLUDED.
- SHOULD CONFUSION EXIST RELATIVE TO THE REMOVAL OF SPECIFIC ITEMS OR THE RE-USE OF SAME, CONTACT THE AUTOZONE FIELD PROJECT MANAGER FOR INSTRUCTIONS.
- GENERAL CONTRACTOR SHALL MAINTAIN EXISTING FIRE ALARM, BURGLAR, AND NETWORK WIRING IN USE BY PEP BOYS OPERATIONS. GENERAL CONTRACTOR TO VERIFY ABANDONED WIRING PRIOR TO DEMOLITION.
- GENERAL CONTRACTOR SHALL REMOVE PEP BOYS BEST CORES WHEN DEMOLITION OF AN EXISTING DOOR TAKES PLACE. BEST CORES SHALL BE GIVEN TO PBY STORE MANAGER FOR STORAGE IN PEP BOYS IN-STORE SAFE.
- GENERAL CONTRACTOR SHALL MAKE SAFE, DECOMMISSION, AND DEMOLISH EXISTING PBY BALER. SPARE ELECTRICAL CIRCUIT SHALL POWER AZO.
- GENERAL CONTRACTOR TO LOCATE AND SAW CUT FLOOR FOR FLUSH POWER/HDMI/DATA, SEE PLANS FOR LOCATION.

INTERIOR DEMOLITION KEYNOTES

- REMOVE ALL EXIST. PHONE LINES, EXPOSED CONDUIT, ALARM WIRES AND DETECTORS, ELECTRIC PANELS, SPEAKERS, WIRING, ETC. NOT NOTED FOR REUSE.
- REMOVE ALL EXISTING WALLS, DOORS, FALSE FLOORS AND STEPS NOT NOTED FOR REUSE.
- REMOVE ALL CARPET, TILE, MASTIC ETC. THROUGHOUT LEASE SPACE.
- PEP BOYS TO REMOVE ALL COUNTERS, FURNITURE, FIXTURES AND RACKS
- REMOVE EXISTING CEILING GRID AND TILE - AZ ONLY
- EXISTING CEILING GRID TO REMAIN, REPLACE TILE AS NEEDED - PEPBOYS ONLY.
- REMOVE EXISTING LIGHT FIXTURES AND LAMPS - AZ ONLY.
- EXISTING DUCTWORK AND DIFFUSERS TO REMAIN - SEE SHEET M1 FOR MODIFICATIONS & ADDITIONS. EXAMINE AND EVALUATE EXISTING EQUIPMENT FOR SUITABILITY PRIOR TO COMMENCING ANY WORK.
- EXISTING AIR CONDITIONING EQUIPMENT TO REMAIN.
- REMOVE EXISTING DRINKING FOUNTAIN FOR THE INSTALLATION OF A NEW HILO DRINKING FOUNTAIN.
- REMOVE EXISTING SLATWALL, PANELING AND ALL FOREIGN MATERIALS FROM EXISTING WALLS.
- REMOVE ALL EXISTING SIGNS, FILMS, AND OTHER FOREIGN OBJECTS FROM WINDOWS.
- REMOVE ALL EXISTING WALLS AND GLASS. SEE SHEET A1 FOR NEW DOOR AND WALL LOCATION.
- EXISTING ELECTRIC PANELS TO REMAIN.
- PATCH, REPAIR OR REMOVE ANY DAMAGED GYPSUM BOARD ON WALLS.
- CUT OPENINGS IN MASONRY WALL FOR NEW DOORS. LOCATION TO BE VERIFIED IN FIELD WITH PROJECT MANAGER, REFERENCE STRUCTURAL DRAWINGS.
- EXISTING SPRINKLER SYSTEM TO REMAIN. RESET SPRINKLER HEADS THROUGH NEW CEILING TILE.
- EXISTING SPRINKLER SYSTEM TO REMAIN, RESET SPRINKLER HEADS AS NECESSARY FOR NEW CEILING CONDITIONS IN EACH TENANT SPACE.
- REMOVE ALL PLUMBING FIXTURES, PARTITIONS, AND ACCESSORIES. CAP ALL WATER SUPPLY LINES AND SINK WASTE LINE TO NEAREST TEE. CAP TOILET WASTE LINE FLUSH WITH FLOOR LEVEL.
- GC TO REMOVE EXISTING BAILER AND ASSOCIATED POWER.
- EXISTING RESTROOM AND COMPUTER CLOSET TO REMAIN.

EXTERIOR DEMOLITION KEYNOTES

- REMOVE INDICATED SECTIONS OF EXISTING STOREFRONT OR WALL TO ALLOW FOR THE INSTALLATION OF NEW DOORS AND STOREFRONT.
- REMOVE EXISTING DOORS, TO BE REPLACED WITH STOREFRONT TO MATCH EXISTING.
- SAWCUT OPENING IN EXISTING MASONRY WALL FOR NEW STOREFRONT DOOR. PREPARE FOR NEW FOR NEW DOOR AND FRAME. LOCATION TO BE VERIFIED IN FIELD WITH PROJECT MANAGER, REFERENCE STRUCTURAL DRAWINGS FOR DETAILS. OPENING IN CMU TO ALIGN WITH BLOCK JOINTS. EXACT LOCATION TO BE FIELD VERIFIED WITH PROJECT MANAGER. REFERENCE DOOR AND FRAME ELEVATIONS, AND DOOR SCHEDULE.
- EXISTING SPRINKLER RISER TO REMAIN.
- EXISTING DOOR AND FRAME TO REMAIN.
- EXISTING OVERHEAD COILING DOOR TO REMAIN.
- REMOVE SECTION OF EXISTING WALL.
- REMOVE PEP BOYS SIGNAGE OF EXTERIOR CANOPY, CANOPY TO REMAIN.
- REMOVE PORTION OF STOREFRONT AND SAWCUT OPENING IN EXISTING MASONRY SILL FOR 3'-4" x 7'-2" OPENING FOR NEW STOREFRONT DOOR AND FRAME. LOCATION TO BE VERIFIED IN FIELD WITH PROJECT MANAGER. REFERENCE DOOR AND FRAME ELEVATIONS, AND DOOR SCHEDULE.
- EXISTING ELECTRIC METER TO REMAIN.
- EXISTING GAS METER TO REMAIN.
- EXISTING DOOR AND FRAME TO REMAIN - NEEDS REPAIR, BRING UP TO CODE.
- REMOVE PORTION OF CONCRETE FOR THE CONSTRUCTION OF NEW RAMP AND PORTION OF SIDEWALK.
- REMOVE INDICATED SECTION OF STOREFRONT FOR INSTALLATION OF NEW HOLLOW METAL DOOR AND FRAME WITH STUD WALL ABOVE.
- SEAL EXISTING DOORS. REMOVE OUTSIDE HARDWARE.
- EXISTING DELIVERY DOOR AND FRAME TO REMAIN. SEE SHEET A-1 FOR REQUIREMENTS.
- REMOVE SECTION OF EXISTING WALL TO BE REPLACED WITH NEW OVERHEAD ROLL UP DOOR. SEE SHEET A-1.
- REMOVE EXISTING EXTERIOR CANOPY MATERIAL, FRAMEWORK TO REMAIN FOR RE-USE.
- REMOVE EXISTING DOCK LADDER AND DOCK BUMPERS.
- REMOVE TRENCH DRAIN. REROUTE EXISTING STORM WATER DRAIN FOR NEW TRENCH DRAIN.
- REMOVE/TRIM BUSHES FROM EXISTING PLANTER AREA AS INDICATED FOR FUTURE RAMP.
- REMOVE PORTION OF RAILING AS INDICATED.



1 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



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PROJECT NUMBER: 10155
DRAWN BY: MMP, HLF
CHECKED BY: MEV, JMD
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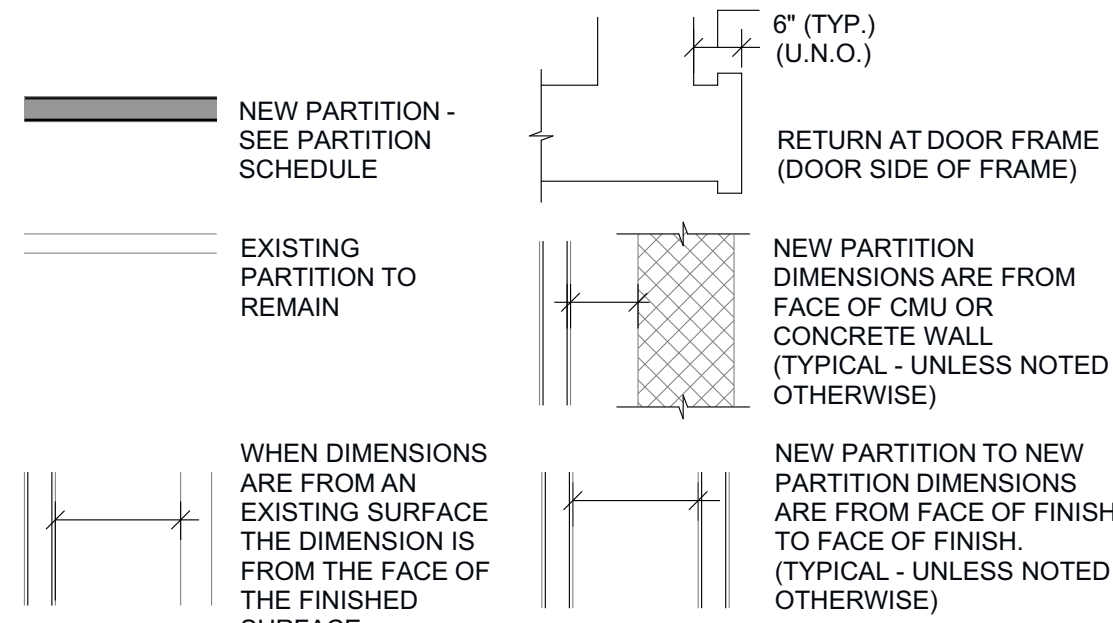
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DEMOLITION PLAN, NOTES & DETAILS

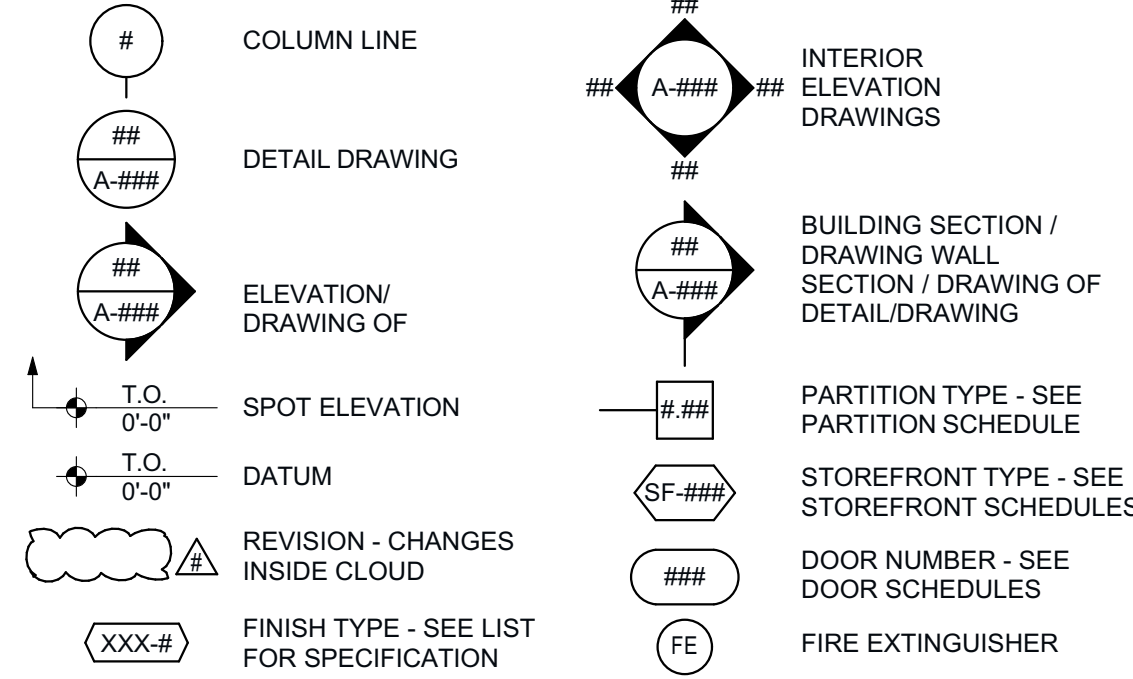
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FRAMING NOTES

- GYPSUM WALLBOARD PARTITIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PARTITION SCHEDULE, GYPSUM ASSOCIATION AND THE MANUFACTURER'S RECOMMENDATIONS. ALL WALLS TO BE ERRECTED SQUARE, PLUMB AND BRACED TO STRUCTURE AS REQUIRED TO REMAIN IN THAT CONDITION.
- DESIGN CRITERIA: INTERIOR HORIZONTAL DESIGN LOAD PER BUILDING CODE: 5 PSF WITH ALLOWABLE DEFLECTION OF L/360. Fy=33 KSI (20 & 18 GAUGE STUDS). RUNNER TRACK GAUGE TO MATCH STUD GAUGE U.N.O. TOP DEFLECTION TRACK TO BE 18 GAUGE.
- LATERAL BRACING IS NOT REQUIRED WHEN GYPSUM WALLBOARD IS INSTALLED FULL HEIGHT ON BOTH SIDERS OF PARTITION, BUT LATERAL BRACING IS STILL REQUIRED AT 1'-0" BELOW DEFLECTION TRACK IF SLIP CLIPS AT DEFLECTION TRACK ARE NOT PROVIDED.
- PARTITIONS EXTENDING THROUGH CEILING TO BE PROVIDED WITH DRAFT STOP AT CEILING LINE OR G.W.B. TO BE CONTINUOUS ON BOTH SIDERS TO TOP STUD TRACK.
- DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.N.O.
- REFERENCE DETAIL #Drg(Dref)/A-5 FOR TYPICAL PARTITION FRAMING DETAILS.
- REFERENCE DETAILS ON A-5 FOR PARTITION TYPES.
- NOTIFY ARCHITECT IF +/- DIMENSION IS OFF BY MORE THAN 1".



SYMBOL LEGEND



INTERIOR PARTITION CLEAR SPAN LIMITS

MAXIMUM ALLOWABLE CLEAR SPAN HEIGHT IN FEET FOR NON-LOAD BEARING INTERIOR PARTITIONS:

DESIGN CRITERIA: INTERIOR HORIZONTAL DESIGN LOAD PER BUILDING CODE: 5 PSF WITH ALLOWABLE DEFLECTION OF L/360. RUNNER TRACK GAUGE TO MATCH STUD GAUGE. TOP DEFLECTION TRACK GAUGE TO MATCH STUD GAUGE FOR 14 THRU 18 GA, BUT NOT LESS THAN 18 GAUGE FOR 20 GA STUDS

STUD SIZE, FLANGE WIDTH, GAUGE (TRANSLATION TO OLD NOMENCLATURE)	Fy (KSI)	SPACING (O.C.)	5 PSF L/360
800S125-68 (8", 1-1/4" -14 GA)	50	12	36'-8"
800S125-68 (8", 1-1/4" -14 GA)	50	16	33'-4"
800S125-54 (8", 1-1/4" -16 GA)	50	12	33'-10"
800S125-54 (8", 1-1/4" -16 GA)	50	16	30'-9"
800S125-43 (8", 1-1/4" -18 GA)	33	12	31'-6"
800S125-43 (8", 1-1/4" -18 GA)	33	16	28'-8"
600S125-68 (6", 1-1/4" -14 GA)	50	12	28'-10"
600S125-68 (6", 1-1/4" -14 GA)	50	16	26'-2"
600S125-54 (6", 1-1/4" -16 GA)	50	12	26'-10"
600S125-54 (6", 1-1/4" -16 GA)	50	16	24'-5"
600S125-43 (6", 1-1/4" -18 GA)	33	12	25'-1"
600S125-43 (6", 1-1/4" -18 GA)	33	16	22'-10"
600S125-33 (6", 1-1/4" -20 GA)	33	12	22'-10"
600S125-33 (6", 1-1/4" -20 GA)	33	16	20'-9"
600S125-30 (6", 1-1/4" -20 GA)	33	12	22'-0"
600S125-30 (6", 1-1/4" -20 GA)	33	16	20'-0"
362S125-68 (3-5/8", 1-1/4" -14 GA)	50	12	19'-2"
362S125-68 (3-5/8", 1-1/4" -14 GA)	50	16	17'-5"
362S125-54 (3-5/8", 1-1/4" -16 GA)	50	12	17'-11"
362S125-54 (3-5/8", 1-1/4" -16 GA)	50	16	16'-3"
362S125-43 (3-5/8", 1-1/4" -18 GA)	33	12	16'-9"
362S125-43 (3-5/8", 1-1/4" -18 GA)	33	16	15'-3"
362S125-33 (3-5/8", 1-1/4" -20 GA)	33	12	15'-4"
362S125-33 (3-5/8", 1-1/4" -20 GA)	33	16	14'-0"
362S125-30 (3-5/8", 1-1/4" -20 GA)	33	12	14'-10"
362S125-30 (3-5/8", 1-1/4" -20 GA)	33	16	13'-6"

- NOTES:
- CLEAR SPAN HEIGHTS ARE FROM "INTERIOR WALL LIMITING HEIGHTS NON-COMPOSITE" TABLES IN THE STEEL STUD MANUFACTURERS ASSOCIATION (SSMA) PRODUCT TECHNICAL GUIDE 2015 AND ARE PROVIDED AS A GENERAL GUIDELINE. VERIFY MAXIMUM ALLOWABLE CLEAR SPAN HEIGHTS WITH METAL STUD MANUFACTURER.
 - STUD GAUGE AND ON CENTER SPACING SHALL BE SELECTED ACCORDING TO THIS CLEAR SPAN HEIGHT SCHEDULE UNLESS NOTED OTHERWISE.
 - HORIZONTAL BRIDGING IS NOT REQUIRED WHEN GYPSUM WALLBOARD IS INSTALLED FULL HEIGHT ON BOTH SIDERS OF PARTITION, BUT HORIZONTAL BRIDGING IS STILL REQUIRED AT 1'-0" BELOW DEFLECTION TRACK IF SLIP CLIPS AT DEFLECTION TRACK ARE NOT PROVIDED.

KEYNOTES - RESTROOM

- CONSTRUCT (2) A.D.A. HANDICAP RESTROOMS. REFER TO SHEET A-2 FOR ENLARGED PLANS AND ELEVATIONS. SEE SHEET P-1 FOR PLUMBING LAYOUT AND RISER DETAILS. CONNECT TO NEAREST ACCESSIBLE LOCATION TO EXISTING SANITARY SEWER LINE. VERIFY 'FALL' TO BE ADEQUATE PRIOR TO BIDDING THE WORK.
- CONSTRUCT NEW PARTITION WALL FOR RESTROOMS FROM FLOOR TO CEILING. TIE TO BAR JOIST AS REQUIRED FOR STABILITY.
- SAWCUT EXISTING SLAB AS REQUIRED TO PROVIDE FOR NECESSARY EXTENSION OF THE EXISTING SANITARY SEWER LINE TO LOCATION OF EACH NEW PLUMBING FIXTURE. FIELD VERIFY EXACT LOCATION, FLOW LINE, AND FALL OF EXISTING SANITARY SEWER LINE. REFERENCE DETAIL
- COMPACT AND FILL ALL NEW OPENINGS WITH CONCRETE AS REQUIRED TO MATCH EXISTING FLOOR ELEVATION LEVEL AND SMOOTH.
- PROVIDE NEW WATER SERVICE AND METER AS PER LOCAL UTILITY COMPANY.
- PRIOR TO CONSTRUCTION START, TENANT CONTRACTOR SHALL SCOPE EXISTING SANITARY LINES & INVERTS TO VERIFY CODE COMPLIANCE OF PROPOSED SANITARY RUN TO NEW RESTROOM LOCATION(S). NOTIFY LANDLORD IF SLOPE IS INSUFFICIENT TO MEET CODE COMPLIANCE.

KEYNOTES - OTHER

- INSTALL 4' x 8' x 3/4" CD PLYWOOD HORIZONTALLY WHERE INDICATED ON THE DRAWINGS.
- INSTALL 1/2" CD PLYWOOD TO 4' ABOVE FLOOR AROUND EXTERIOR OF RESTROOMS.
- ELECTRICAL PANEL LOCATION, REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
- GAS METER LOCATION, REFER TO MECHANICAL DRAWINGS FOR FURTHER INFORMATION.
- INSTALL ALUMINUM CORNER GUARD 3"W X 8"H AT OUTSIDE CORNER OF GYPSUM BOARD WALLS.
- INSTALL TWO 4' x 8' SHEETS OF BLACK FRP VERTICALLY BEHIND BATTERY RACK. SEE SECTION 09986 OF THE SPECIFICATIONS.

KEYNOTES - MECHANICAL

- EXISTING HVAC UNITS, AIR HANDLERS, AND CONDENSERS TO REMAIN.
- CLEAN ALL DUCTS, AIR DIFFUSERS AND REGISTERS. REPLACE ALL FILTERS, CLEAN EQUIPMENT, LUBRICATE ALL BELTS, ADD REFRIGERANT, ALL AS NEEDED TO PLACE IN GOOD WORKING CONDITION.
- INSTALL (4) SIMPLEX OUTLETS FOR BATTERY CHARGERS - TWO @ +36" AND TWO @ +54" ABOVE FINISH FLOOR, EACH ON INDIVIDUAL CIRCUITS. INSTALL ONE SIMPLEX OUTLET @ +75".

FLOOR PLAN KEYNOTES - EXTERIOR

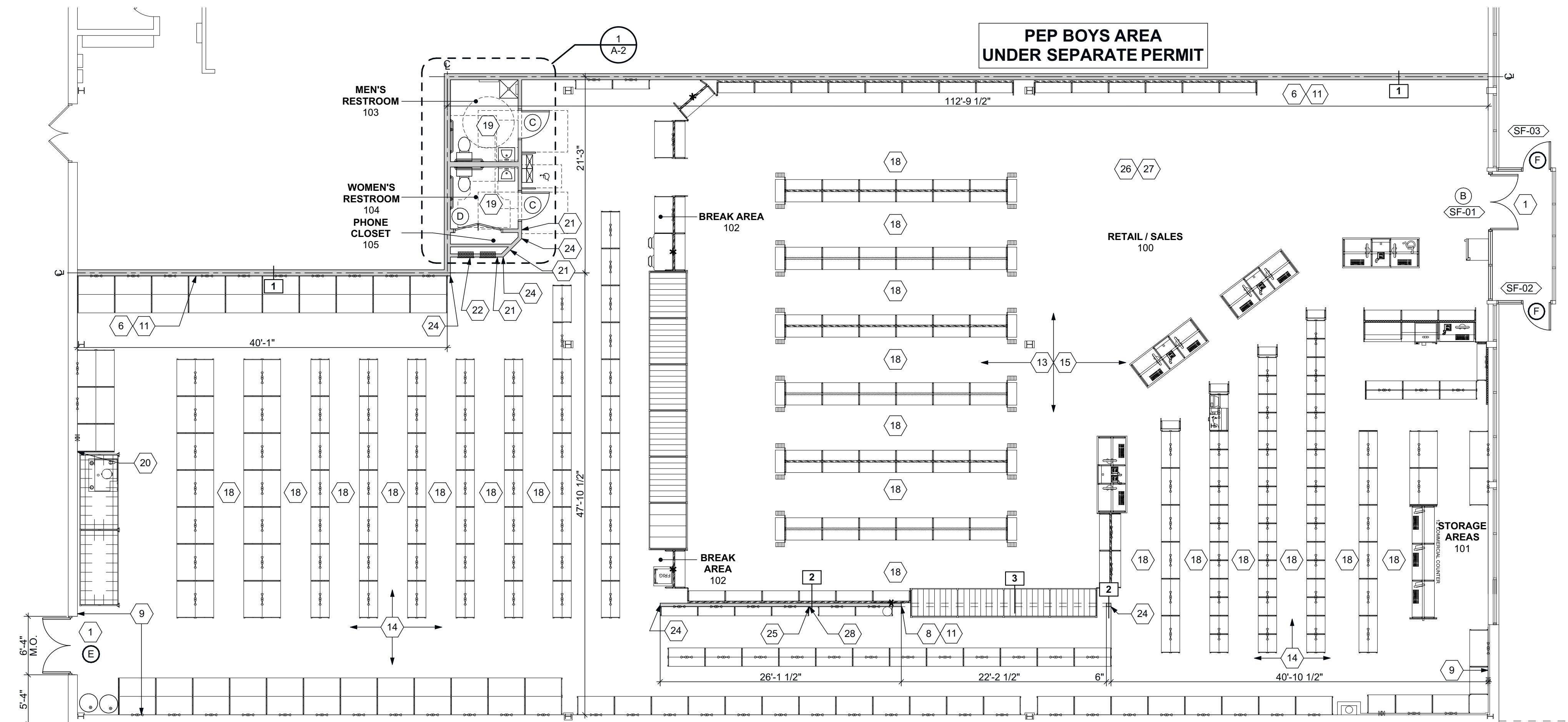
- MATCH EXISTING STOREFRONT FRAMES, COLOR, AND STYLE.
- PROVIDE AND INSTALL NEW ALUMINUM MULLION / INSULATED GLAZING SYSTEM IN DESIGNATED AREA TO MATCH EXISTING STOREFRONT & COLOR.
- SEAL EXISTING DOOR AND REMOVE OUTSIDE HARDWARE.
- APPLY BLACKOUT FILM ON INSIDE FACE OF GLASS HOLD 1" FROM ALL FRAME EDGES.
- TINTED GLASS SHALL HAVE A TRANSMITTANCE FACTOR OF 50 PERCENT OR GREATER AND SHALL HAVE VISIBLE LIGHT REFLECTANCE FACTOR OF 10 OR LESS. HOLD 1" FROM ALL FRAME EDGES.
- PROVIDE AND INSTALL NEW ADA COMPLIANT CONCRETE LANDING PAD AND RAMP WITH 1 1/2" SCHEDULE #40 PAINTED STEEL HANDRAIL.

FLOOR PLAN KEYNOTES - INTERIOR

- CONSTRUCT NEW DEMISING WALL FLOOR TIGHT TO UNDERSIDE OF ROOF DECK. SEE DETAIL 1/A-5.
- CONSTRUCT NEW PARTITION WALL FLOOR TO ROOF DECK. SEE DETAIL 1/A-5.
- CONSTRUCT NEW CURTAIN WALL FLOOR TO ROOF DECK. SEE DETAIL 1/A-5.
- PATCH INTERIOR WALLS AS REQUIRED TO PROVIDE FLAT SMOOTH PAINTABLE SURFACE. PROVIDE AND INSTALL NEW DRYWALL ONLY WHERE REQUIRED TO MATCH EXISTING SURROUNDING WALL SURFACES.
- CONSTRUCT NEW 44" HIGH EGRESS DEMARCATION WALLS AS SHOWN. SEE DETAIL 1/A-2.
- FOR NEW GYPSUM BOARD AND STUD WALLS INSTALL 6" WIDE X 20 GAUGE STEEL STRIP ON THE FACE OF STUD BEHIND GYPSUM BOARD. CENTER STRIP 90" A.F.F. INSTALL STRIP BOTH SIDERS OF DROPPED CURTAIN WALL. ON EXISTING WALLS INSTALL WOOD 1"x4" HORIZONTAL BEHIND ALL FIXTURES. TOP OF WOOD TO BE 90" A.F.F.
- EXISTING ONE HOUR FIRE RATED DEMISING WALL FROM FLOOR TIGHT TO UNDERSIDE OF ROOF DECK, PREVIOUSLY CONSTRUCTED BY LANDLORD TO REMAIN. PATCH WALL SURFACE AS REQUIRED FOR FINISHING.

FLOOR PLAN KEYNOTES - FLOOR

- FILL HOLES AND CRACKS IN EXISTING FLOOR. PRESSURE CLEAN AND APPLY LEVELLER AS SPECIFIED. FINISHED FLOOR TO BE LEVEL WITHIN 1/8" PER 10' PLUS/MINUS NON-CUMULATIVE.
- NO FLOOR PREP WORK, OTHER THAN IN NEW RESTROOM AREA. WILL BE REQUIRED IN THIS AREA.
- INSTALL NEW FLOOR TILE, REFERENCE A-3. SEE SPECIFICATIONS SECTION 09660 FOR ADDITIONAL REQUIREMENTS.
- CONSTRUCT NEW WALL INFILL FLUSH WITH EXISTING SOFFIT AND KNEEWALL. FINISH TO MATCH EXISTING. SEE DETAIL 4/A-1.
- INSTALL NEW 3'-0" x 7'-0" HOLLOW METAL STEEL DOOR AND FRAME, ALONG WITH RELATED HARDWARE AND PUSH BAR ONLY FOR MERCANTILE EMERGENCY EXIT. SEE DOOR SCHEDULE A-6.
- SHELVING AND RACKING TO BE UNDER SEPARATE PERMIT.



FLOOR PLAN
SCALE: 1/8" = 1'-0"



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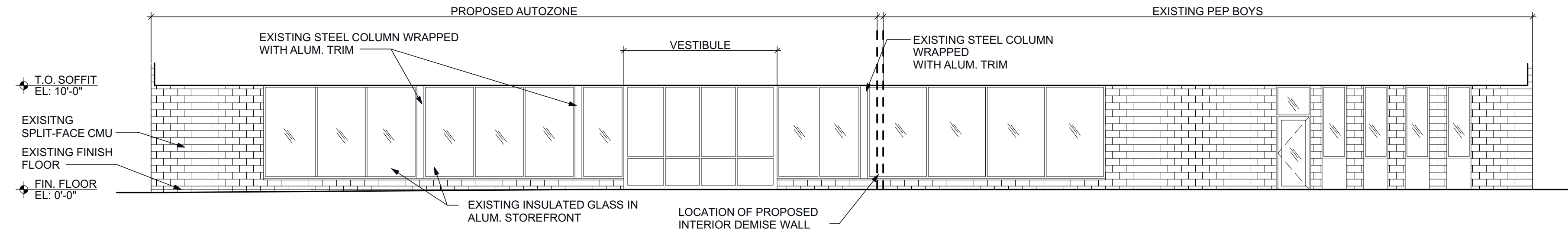
FLOOR PLAN, KEYNOTES & DOOR SCHEDULE

EXTERIOR SIGNAGE NOTES

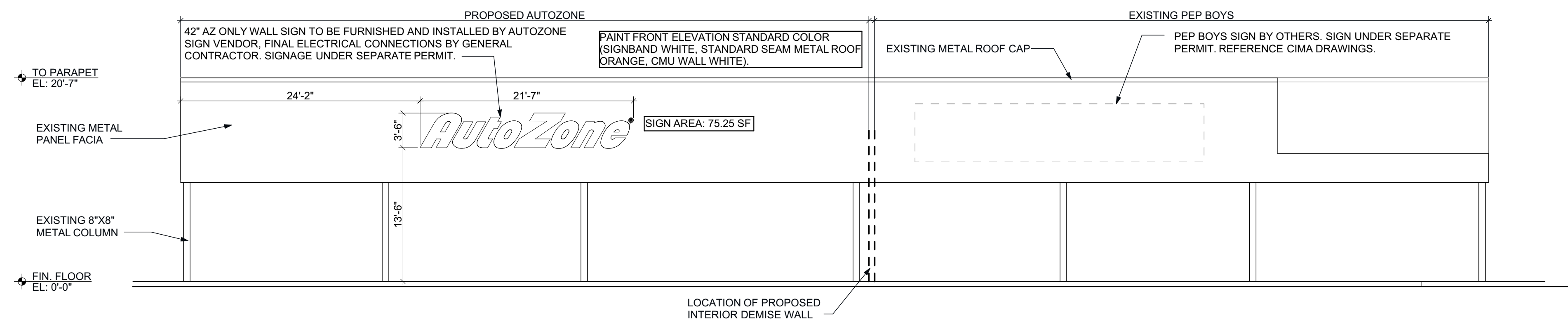
- GENERAL CONTRACTOR TO PROVIDE LINE ITEM COST FOR SIGNAGE BAND PREP.
- PEP BOYS WILL NOT BE PAINTING THE EXTERIOR, ROOF OR COPING.
- PAINTING OF EXTERIOR SHALL BE PER WRITTEN REQUEST OF TENANT WITH DETERMINATION OF BUILDING SCHEME COLOR UPON REQUEST.
- BUILDING SIGNAGE IS REQUIRED TO BE FULLY COORDINATED THROUGH PEP BOYS AND PEP BOYS SIGNAGE VENDOR - CIMA. ANY SIGNAGE NOT APPROVED THROUGH PEP BOYS & CIMA REVIEW WILL CONSTITUTE NON-APPROVAL BY THE LANDLORD.
- ALL NEW STOREFRONT AND STOREFRONT DOORS MUST MATCH EXISTING STORE FRONT DESIGN, COLOR & FINISH.
- RE-FACING OF PYLON AND PAINT SHALL BE BY TENANT AND MUST BE REVIEWED AND APPROVED BY PEP BOYS AND CIMA REVIEW PROCESS.
- APPROVED CIMA SIGNAGE PACKAGE CONTROLS OVERALL BUILDING SIGNAGE.
- MAIN BUILDING SIGNAGE SHALL BE REUSED WHEREVER POSSIBLE (CIMA TO REVIEW ALL LOCATIONS AND FINAL DETERMINATION SHALL BE BY PEP BOYS CORPORATE).
- BUILDING SIGNAGE AT BAY SIDE ELEVATION SHALL BE RETAINED AND RE-USED.
- IT IS ACCEPTABLE TO HAVE DISSIMILAR SIGNAGE FONTS ON A SINGLE BUILDING.
- SIGNAGE WITH M, M & J OVERLAPPING THE "P" SHALL BE RE-USED AS A WHOLE SIGN.
- SIGNAGE WITH M, M & J AND NO OVERLAPPING "P" CAN BE RE-USED WITHOUT THE M, M & J FACES.
- ALL SIGNAGE SHALL BE REVIEWED UNDER SEPARATE PERMIT REVIEW.

NOTES

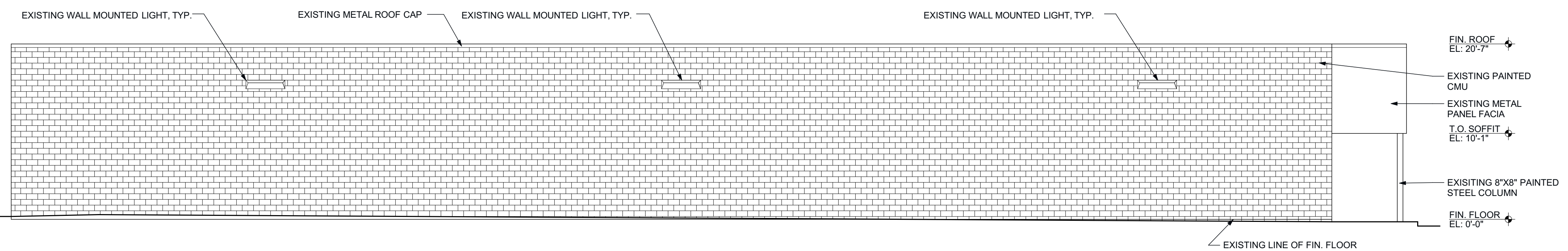
- PEP BOYS ELECTRICAL LAYOUT, ELECTRICAL FIXTURE TYPE AND LOCATION TO BE ORDERED AND APPROVED PRIOR TO CONSTRUCTION.
- G.C. TO EXTEND POWER TO NEW SIGNAGE LOCATIONS - USE EXISTING CIRCUIT AND ADD TWILIGHT SENSOR. (TYPICAL) COMBO TIME AND PHOTOCCELL - MANUFACTURER - TORK MODEL #DZS200BP.
- NEW STOREFRONT SHALL MATCH EXISTING.
- BUILDING COLORS AND SIGNAGE MUST REFERENCE PEP BOYS APPROVED CIMA PACKAGE PRIOR TO FINAL AUTOZONE DESIGN APPROVAL.
- NON-COORDINATION AND DEVIATION FROM APPROVED CIMA PACKAGE WILL RESULT IN PEP BOYS NON-APPROVAL OF BUILDING SCHEME AND SIGNAGE PACKAGES.
- EXISTING ROOFING SHALL NOT BE PAINTED OR CHANGED.
- METAL OVERLAYS TO BE USED IN THESE CONDITIONS - 1. CUT OUT LETTERS 2. EXISTING METAL IS EXTREMELY DAMAGED. OTHERWISE REPAIR EXISTING SIGNAGE BAND FOR NEW SIGNAGE. GENERAL CONTRACTOR NEEDS TO HAVE SIGNAGE BAND REPAIR IN THEIR BID.
- GENERAL CONTRACTOR TO HAVE "GHOSTING" COVERED IN THEIR BID FOR LOCATION WHERE STUCCO IS PRIMARY BUILDING SURFACE.
- IF AZO WISHES TO PAINT BUILDING, AZO TO NOTIFY PEP BOYS FOR DETERMINATION OF BUILDING COLOR (EXISTING OR APPROVED CIMA PACKAGE).



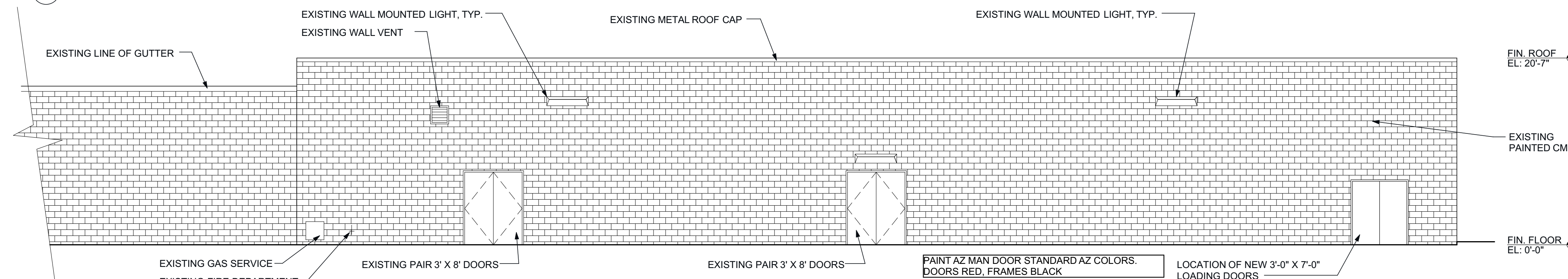
11 SOUTH ELEVATION STOREFRONT
SCALE: 1/8" = 1'-0"



6 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



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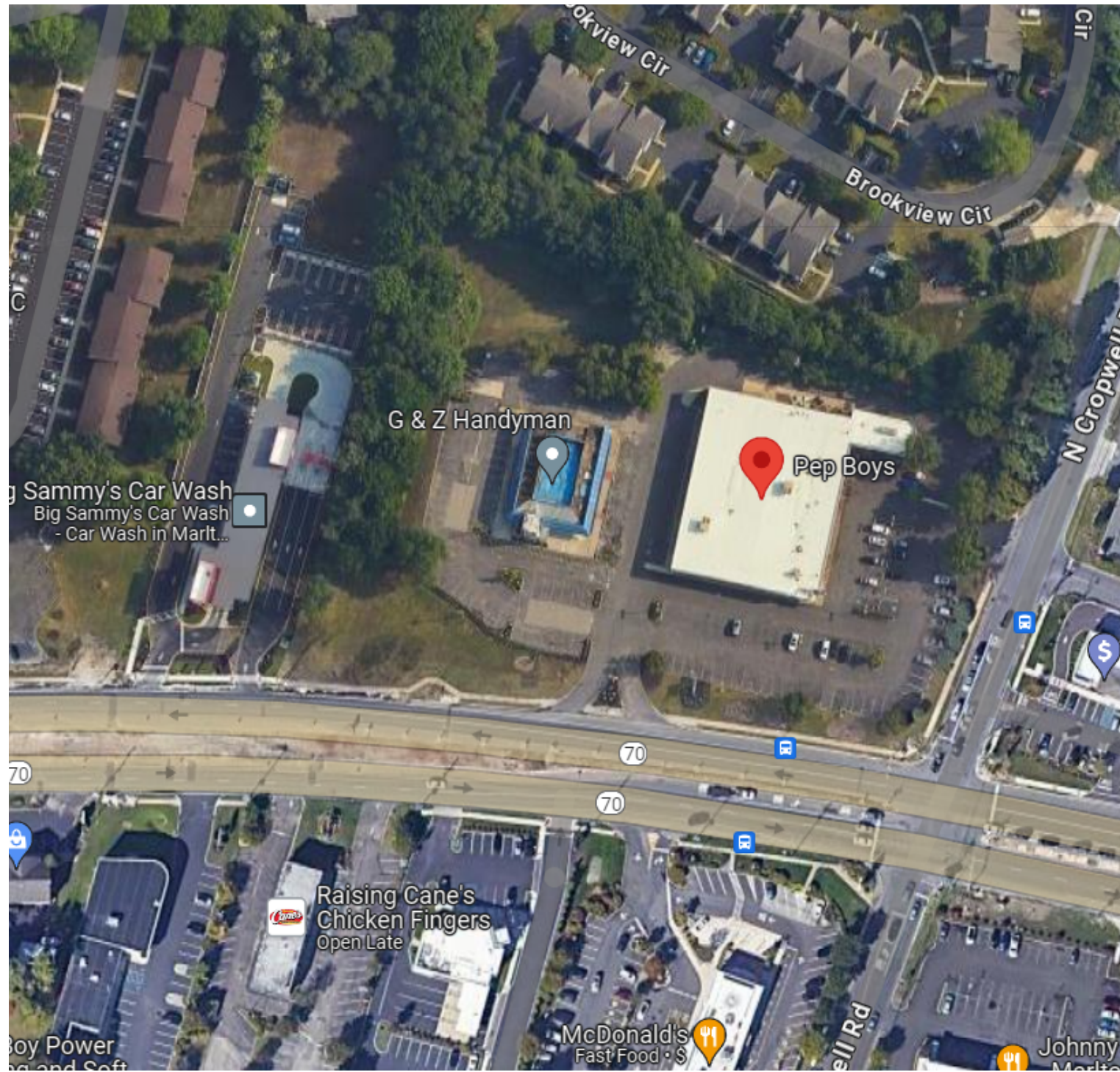
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EXTERIOR ELEVATIONS

A-3.1



GENERAL NOTES

- SCOPE OF WORK: THESE DRAWINGS INDICATE GENERAL SCOPE OF WORK AND DESIGN INTENT ONLY. THE CONTRACTOR SHALL REVIEW CONSTRUCTION CONDITIONS AND, PRIOR TO STARTING WORK, SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS, ALL SITE CONDITIONS, AND ALL REQUIREMENTS FOR THE PROJECT. VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING AND SHALL BE RESOLVED AND DOCUMENTED BY THE CONTRACTOR IN WRITING PRIOR TO STARTING CONSTRUCTION. OTHERWISE, THE CONTRACTOR SHALL PERFORM HIS WORK IN ACCORDANCE WITH THE MOST STRINGENT NOTATION OR REQUIREMENT TO PROPERLY AND FUNCTIONALLY EXECUTE THE WORK OF HIS CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING CONSTRUCTION. CONTRACTOR, BY ACCEPTING THE CONTRACT FOR THIS PROJECT AND USING THESE PLANS AND SPECIFICATIONS, AGREES TO DEFEND AND INDEMNIFY OWNER AND ITS CONSULTANTS AGAINST ANY CLAIMS, DAMAGES, OR LAWSUITS BY ANY CONTRACTOR OR SUBCONTRACTOR EMPLOYEES, INCLUDING BENEFICIARIES AND ESTATES, ARISING FROM PERFORMANCE OF THE WORK, INCLUDING BUT NOT LIMITED TO BODILY INJURY, SICKNESS, DISEASE, OR DEATH. THIS DEFENSE AND INDEMNIFICATION OBLIGATION WILL NOT NEGATE OR REDUCE ANY OTHER OBLIGATIONS CONTAINED IN ANY CONTRACT DOCUMENTS AND WILL NOT BE IN ANY WAY LIMITED BY OR SUBJECT TO, BENEFITS PAID UNDER WORKERS' COMPENSATION ACTS, DISABILITY BENEFITS, OR OTHER EMPLOYEE BENEFIT ACTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS ON THE DRAWINGS CONFLICT WITH THE NOTES OR SPECIFICATIONS OR WITH EACH OTHER, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH APPLICABLE BUILDING CODES, OSHA, AND THOSE LAWS HAVING JURISDICTION WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL PROCURE AND PAY FOR ALL NECESSARY BUILDING PERMITS. BUSINESS LICENSE COSTS ARE NOT REIMBURSABLE.
- MANUFACTURER'S SPECIFICATIONS: ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS BY COMPETENT CRAFTSMEN FAMILIAR WITH THE WORK TO BE PERFORMED.
- THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONDITION OF EXISTING CONSTRUCTION AND/OR DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL CONSULT WITH PEP BOYS AND AUTOZONE CONSTRUCTION MANAGER TO RESOLVE ANY AND ALL CHANGES, OMISSIONS, OR PLAN DISCREPANCIES PRIOR TO FINAL CONSTRUCTION AGREEMENT.
- ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL, COUNTY, STATE, AND FEDERAL CODES AND ORDINANCES.
- THE GENERAL CONTRACTOR SHALL RETAIN ONE SET OF PLANS TO ANNOTATE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET SHALL BE PART OF THE GENERAL CONTRACTOR'S "STORE CLOSE-OUT PACKAGE" AS DESCRIBED IN THE CONSTRUCTION MANAGEMENT AGREEMENT.
- AT LEAST ONE MONTH PRIOR TO THE ANTICIPATED CONSTRUCTION START DATE, THE GENERAL CONTRACTOR SHALL HAVE THE PLUMBING SUB, VIDEO SCOPE THE EXISTING SANITARY LINE AND TO PULL THE EXISTING TOILET TO DETERMINE THE INVERT OF THE PIPE AT THE INTENDED POINT OF CONNECTION TO SEE IF THERE IS AMPLE FALL IN THE NEW SANITARY LINES. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE PEP BOYS PROJECT MANAGER AND THE ARCHITECT OF RECORD.
- AT LEAST ONE MONTH PRIOR TO THE ANTICIPATED CONSTRUCTION START DATE, THE GENERAL CONTRACTOR AND THEIR SUBS SHALL VISIT THE SITE FOR INSPECTION AND DUE DILIGENCE TO VERIFY SCOPE AND DESIGN INTENT DELIVERABLES. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE PEP BOYS PROJECT MANAGER AND THE ARCHITECT OF RECORD.
- THE MECHANICAL SUB IS TO REMOVE PEP BOYS RTU'S FROM EXISTING NOVAR EMS SYSTEM AND SUPPLY & INSTALL NEW THERMOSTATS IN CLEAR LOCKABLE COVER. VERIFY LOCATION(S) WITH PEP BOYS PROJECT MANAGER.
- THE GENERAL CONTRACTOR IS TO TAG ALL WIRING, CONDUIT, FIRE ALARM WIRING, SECURITY WIRING AND LOW VOLTAGE CABLES THAT NEED TO REMAIN IN PLACE PRIOR TO STARTING DEMOLITION WORK.
- THE GENERAL CONTRACTOR IS TO REVIEW PEP BOYS APPROVED CIMA SIGNAGE PACKAGE FOR FINAL BUILDING COLOR SCHEME. CIMA SIGNAGE PACKAGE IS THE CONTROL FOR BUILDING COLORS AND LOCATION.
- AUTOZONE IS RESPONSIBLE FOR PROVIDING REQUIRED DOCUMENTS AND WORK TO EXISTING SPRINKLER SYSTEM TO MEET CODE COMPLIANCE REQUIRED BY NEW WORK SCOPE.

PROJECT NOTES

- GENERAL CONTRACTOR TO VERIFY AND ENSURE EMERGENCY LIGHTING LEVELS. PROVIDE MINIMUM OF 1.0 F.C. AT FLOOR LEVEL ALONG ALL PATHS OF EGRESS. ADD/RELOCATE EMERGENCY LIGHTS AND EXIT SIGNS PER FIRE MARSHALL. "REQUIRED" PATHS OF EGRESS SHALL NOT PASS FROM RETAIL THROUGH STORAGE.
- ALL ROOMS SHALL HAVE EMERGENCY LIGHTS AS REQUIRED. REUSE EXISTING AS APPLICABLE, PROVIDE NEW AS REQUIRED.
- MINIMUM AISLE WIDTH IS 36" CLEAR. PRIMARY EGRESS PATHS ARE 48" MINIMUM.
- LOCATE DISPLAY / RACK / SHELVING FIXTURES AS SHOWN, COORDINATE LOCATIONS WITH PROJECT MANAGER.
- RELOCATE DISPLAY / RACK / SHELVING FIXTURES. COORDINATE NEW LOCATIONS WITH PEP BOYS PROJECT MANAGER.
- GENERAL CONTRACTOR SHALL SAVE ANY EXIT LIGHTS FROM DEMOLITION SIDE OF AUTOZONE SPACE AND REUSE AS NEEDED TO MEET LIFE SAFETY CONDITIONS AT THE PEP BOYS BACK OF HOUSE. NO "DEAD END" RACKING CONDITIONS WILL BE ALLOWED.
- GENERAL CONTRACTOR UPON INSTALLATION OF TV TO VERIFY IF TV CHANNELS FUNCTION. IF NOT THEN GENERAL CONTRACTOR TO PURCHASE AND INSTALL DIGITAL ANTENNA TYPE 1 - DIGITAL ANTENNA @ BACK OF TV (CORDLESS MAGIC 0 2021 EDITION A HDTV AMPLIFIED INDOOR ANTENNA - 120 MILES RANGE. IF TYPE 1 ANTENNA DOES NOT WORK, THEN GENERAL CONTRACTOR TO USE TYPE 2 ANTENNA SOLUTION - PURCHASE AND INSTALL ON ROOF, ESKY HG-997 180 MILE OUTDOOR ANTENNA.
- NIGHT WORK MAY BE NECESSARY FOR VARIOUS PHASES OF JOB DUE TO ONGOING DAYTIME OPERATIONS. GENERAL CONTRACTOR TO PLAN AND SCHEDULE ACCORDINGLY.
- FURNITURE FIXTURES & EQUIPMENT ON PEP BOYS SIDE IS PROVIDED BY PEP BOYS AND DELIVERED TO SITE. GENERAL CONTRACTOR TO ASSEMBLE AND INSTALL.
- TO PROVIDE PRELIMINARY SCHEDULING AND PHASING PLAN INTO CONSTRUCTION SCHEDULE WHICH INCORPORATES PEP BOYS SERVICE OPERATIONS TO REMAIN OPEN DURING RE-DEMISE WORK. FINAL COORDINATION OF PLAN SHALL BE MUTUALLY ACCEPTED BY ALL PARTIES. PEP BOYS REPRESENTATIVE WILL CONFIRM PHASING AT CONSTRUCTION "KICK OFF" ON-SITE MEETING.
- ALL LOW VOLTAGE AND DATA WIRING AND INSTALLATION BY PEP BOYS (UNLESS NOTED OTHERWISE).
- IF NOT EXISTING, PROVIDE AND INSTALL SIX (6) 10LB ABCV FIRE EXTINGUISHERS. REFER TO PEP BOYS CONSTRUCTION PROJECT MANAGER FOR ALL LOCATIONS. ALL EXTINGUISHERS SHALL HAVE CURRENT INSPECTION TAGS, HUNG AND HAVE REQUIRED SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE SEPARATE COST BREAK OUT FOR DEMISE WORK AND PEP BOYS WORK.
- FIRE ALARM - GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FEES, DESIGN, PERMITTING, PROGRAMMING, PROCUREMENT, INSTALLATION, TESTING, AND FIRE ALARM PERFORMANCE TO MEET FEDERAL, STATE AND LOCAL CODE REQUIREMENTS. GENERAL CONTRACTOR WILL BE REQUIRED TO MEET FIRE ALARM MONITORING COMPANY INTEGRATION REQUIREMENTS. VECTOR SECURITY IS PEP BOYS FIRE ALARM MONITORING VENDOR. GENERAL CONTRACTOR TO COORDINATE INTEGRATION OF EXISTING FASPECIFICS WITH AUTOZONE AND PEP BOYS PRIOR TO FINAL DESIGN.
- THE GENERAL CONTRACTOR SHOULD PATCH AND REPAIR SIGNAGE BAND WHERE PEP BOYS SIGNAGE IS REMOVED.
- THE GENERAL CONTRACTOR TO PAINT PEP BOYS SIGNAGE BACKGROUND WHERE REQUIRED FOR NEW PEP BOYS SIGNAGE.

SCOPE OF WORK

- THE SCOPE OF THE WORK INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
- RETAIL TRADE FIXTURES TO BE REMOVED BY PEP BOYS.
 - EXISTING CUSTOMER LOUNGE AND WRITE-UP AREA PER PLANS. WALLS TO RECEIVE NEW PAINT. EXISTING FLOOR TO REMAIN UNLESS OTHERWISE NOTED. EXISTING CEILING TILE TO REMAIN WHEN AND WHEREVER POSSIBLE. IF NEW CEILING TILES ARE REQUIRED, THESE SHOULD MATCH EXISTING. EXISTING LIGHTING TO REMAIN IN ALL AREAS POSSIBLE. RETROFIT EXISTING LIGHT FIXTURES FRONT OF THE HOUSE ONLY WITH LED BULBS AS INDICATED PER PLANS. CORRECT ALL NON-FUNCTIONAL FIXTURES IN BACK OF HOUSE TO OPERATE CORRECTLY. IT IS ADEQUATE TO REUSE LAMPS FROM DEMOLISHED TENANT SIDE.
 - EXISTING CUSTOMER TOILET ROOM TO BE MODIFIED TO BE ADA COMPLIANT, TO RECEIVE NEW WALL, NEW CEILING, AND TO ADD PLUMBING FIXTURES AND ACCESSORIES.
 - EXISTING LIGHTING IN BACK OF HOUSE TO BE RE LAMPED.
 - NEW OPENING INTO SERVICE AREA.
 - NEW EMPLOYEE BREAK AREA IN BACK OF HOUSE WHERE SHOWN.
 - SUPPLY AND RETURN DUCTWORK ALTERATIONS.
 - SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
 - ADD NEW HI/LO ADA COMPLIANT DRINKING FOUNTAIN WITH BOTTLE FILLER.
 - EXISTING CONCRETE FLOOR TO BE POLISHED -1800 GRIT.

FIRE ALARM SYSTEM

DESIGN OF, AND POTENTIAL REQUIRED UPGRADES, OF EXISTING BUILDING FIRE ALARM SYSTEM FOR TENANTS WILL BE RESPONSIBILITY OF THE AUTOZONE GENERAL CONTRACTOR. ALL DESIGN, SYSTEM UPGRADES, DEVICES, INSTALLATION, PROGRAMMING, COORDINATION WITH VECTOR (MONITORING AGENT), AND OTHER REQUIREMENTS TO MEET CODE AND GAIN CERTIFICATE OF OCCUPANCY. MONITORING OF FINAL SYSTEM WILL BE BY VECTOR SECURITY, A PEP BOYS NATIONAL VENDOR.



STORE ALTERATIONS

"PEP BOYS STORE ALTERATIONS" STORE # 0048

775 ROUTE 70 WEST

MARLTON, NJ 08053

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CURRENT ISSUED DRAWINGS			
SHEET	DRAWING TITLE	CURRENT ISSUE	DATE
A-001	CODE DATA & GENERAL NOTES	SITE PLAN WAIVER	04-23-25
A-002	EGRESS PLAN & NOTES	BID CONFORMANCE	06-28-24
A-003	ACCESSIBILITY DETAILS	PERMIT	06-25-24
D-001	DEMO PLAN	PERMIT	06-25-24
D-002	DEMO REFLECTED CEILING PLAN	PERMIT	06-25-24
A-101	FLOOR & FIXTURE PLAN AND DETAILS	SITE PLAN WAIVER	04-23-25
A-102	ENLARGED FLOOR & FIXTURE PLAN AND DETAILS	PERMIT	06-25-24
A-103	REFLECTED CEILING PLAN	PERMIT	06-25-24
A-201	INTERIOR ELEVATIONS & WALL FINISH PLAN	BID CONFORMANCE	06-28-24
A-501	DETAILS	PERMIT	06-25-24
A-601	DOOR SCHEDULES & DETAILS	BID CONFORMANCE	06-28-24
S-100	STRUCTURAL PLAN AND DETAILS	PERMIT	06-25-24
P1	PLUMBING PLAN	PERMIT	06-25-24
P2	PLUMBING SCHEDULES/ DETAILS/ RISERS	PERMIT	06-25-24
M1	HVAC PLAN	PERMIT	06-25-24
E1	POWER PLAN	PERMIT	06-25-24
E3	LIGHTING PLAN	PERMIT	06-25-24

CODE DATA

BUILDING CODE ANALYSIS APPLICABLE CODES (WITH APPLICABLE STATE AMENDMENTS)
 NEW JERSEY STATE UNIFORM CONSTRUCTION CODE BASED ON:

- NEW JERSEY ADMINISTRATIVE CODE
- 2021 INTERNATIONAL BUILDING CODE NEW JERSEY EDITION
- 2021 NATIONAL STANDARD PLUMBING CODE
- 2019 ASHRAE 90.1
- 2020 NATIONAL ELECTRICAL CODE
- 2021 INTERNATIONAL FIRE CODE
- 2017 ICC A117.1
- NEW JERSEY UNIFORM CONSTRUCTION CODE, SUBCHAPTER 6: NJ REHAB CODE
- 2021 INTERNATIONAL FUEL GAS CODE

CONSTRUCTION TYPE: I-I-B, UNPROTECTED (EXISTING)
 FULLY SPRINKLERED
 HEIGHT: ± 20'-0" (EXISTING)
 CLASSIFICATION OF WORK: ALTERATION, RENOVATION

- MEANS OF EGRESS SIZING (SECTION 1005.3)
 PER 1005.3.2 OTHER EGRESS COMPONENTS TO BE SIZED BY THE OCCUPANT LOAD MULTIPLIED BY 0.2 INCHES.
- | EGRESS AREA | OCCUPANT LOAD | REQUIRED EXIT (x0.2') | PROVIDED |
|-------------|---------------|-----------------------|----------|
| AREA 1 | 48 | 9.36" | 99" |
- MAXIMUM TRAVEL DISTANCE (TABLE 1017.2, WITH SPRINKLER)
 OCCUPANCY S-1 = 250'
 OCCUPANCY B = 300'
 - MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE (TABLE 1006.2.1, WITH SPRINKLER)
 OCCUPANCY B & S-1 = 100'

OCCUPANCY AND AREA CALCULATIONS

ROOM #	ROOM NAME	USE GROUP	AREA (SF)	SF PER PERSON	OCC. CALC
EGRESS AREA 1					
100	CUSTOMER SERVICE	B BUSINESS	1,387	150	10
200	SERVICE AREAS	S-1 STORAGE	6,035	300	21
201	STORAGE AREAS	S-1 STORAGE	5,081	300	17
TOTALS:			12,503 ft²		48



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STORE ALTERATIONS
PEP BOYS
 STORE # 0048
 775 ROUTE 70 WEST
 MARLTON, NJ 08053

DISTRIBUTION:	DATE:
00 BID	05-23-24
0 PERMIT	06-25-24
△ BID CONFORMANCE	06-28-24
△ SITE PLAN WAIVER	04-23-25

PROJECT INFO:
 PROJECT NUMBER: 10155
 DRAWN BY: MMP
 CHECKED BY: MEV
NOTE + COPYRIGHT:

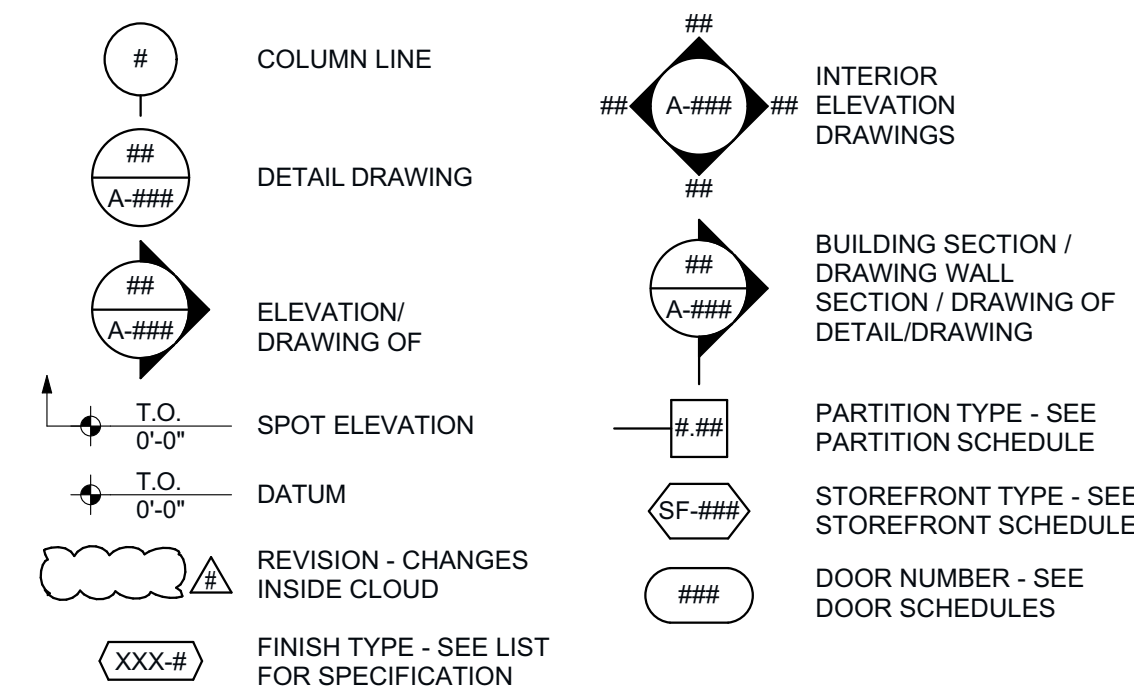
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CODE DATA & GENERAL NOTES

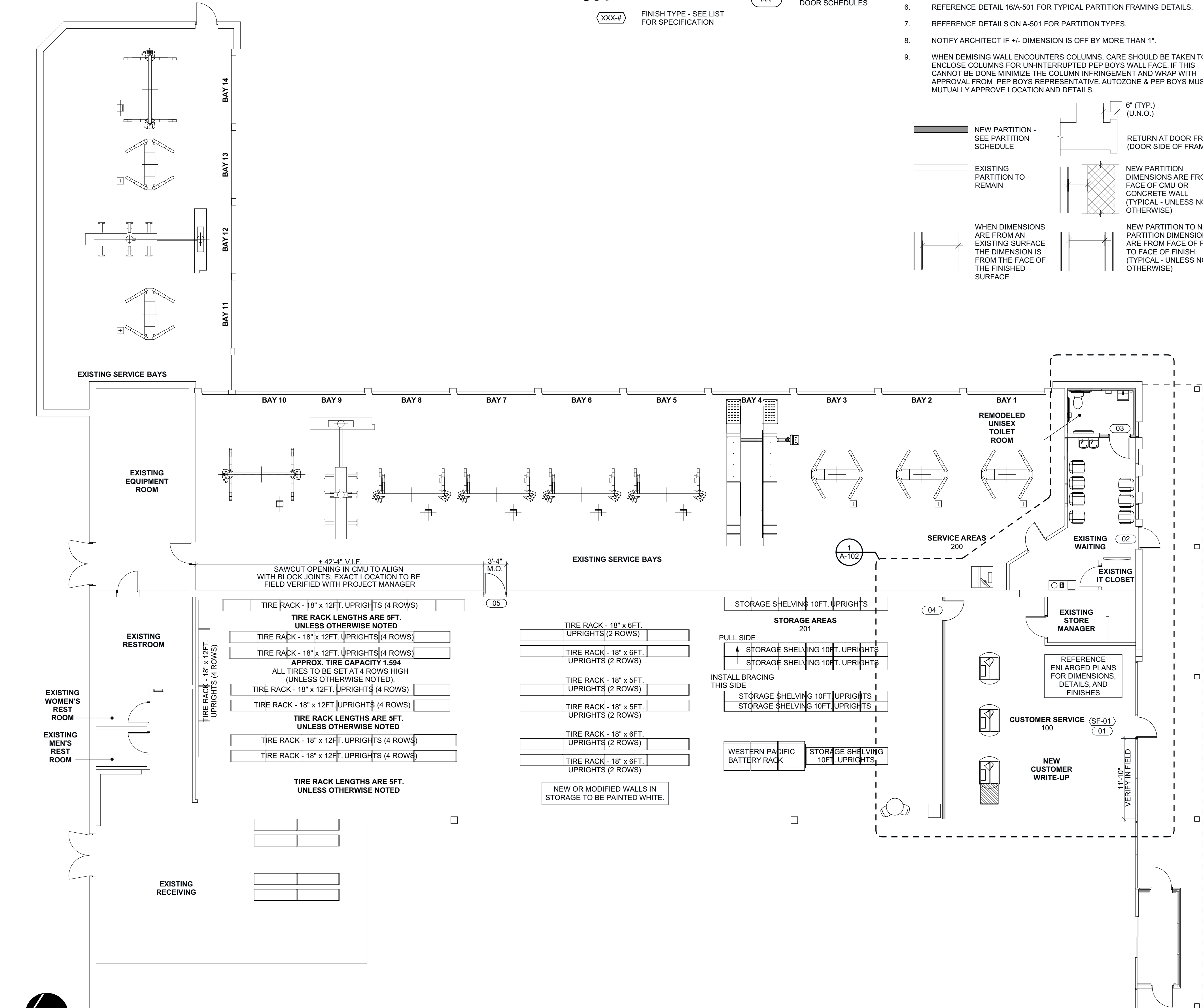
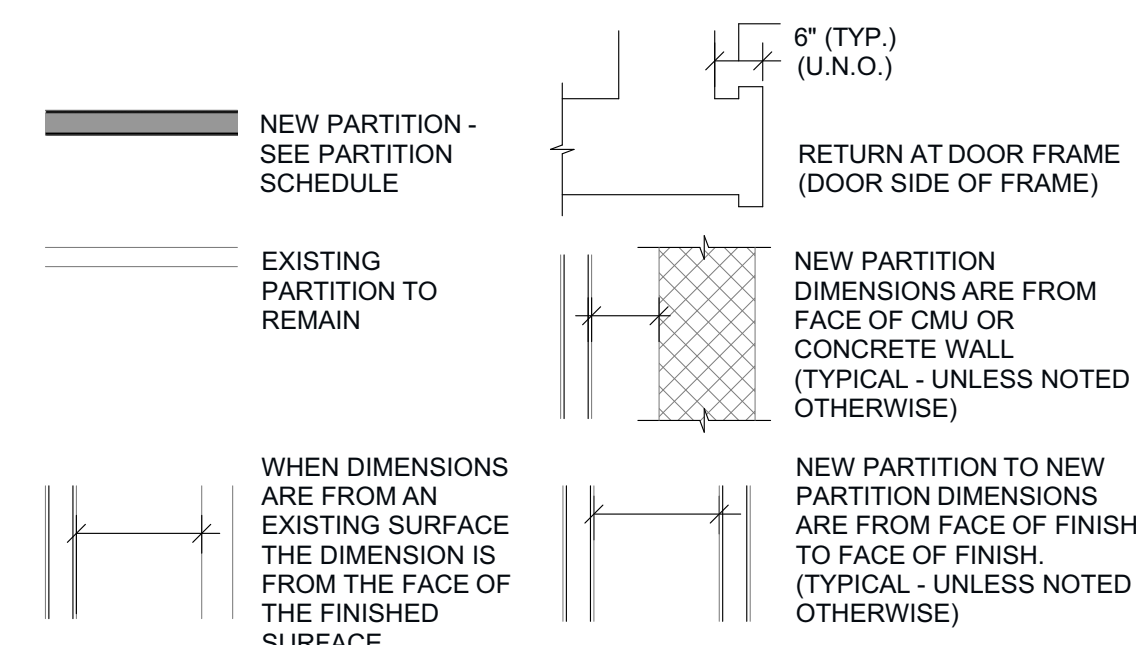
A-001

SYMBOL LEGEND



FRAMING NOTES

- GYPSUM WALLBOARD PARTITIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PARTITION SCHEDULE, GYPSUM ASSOCIATION AND THE MANUFACTURER'S RECOMMENDATIONS. ALL WALLS TO BE ERECTED SQUARE, PLUMB AND BRACED TO STRUCTURE AS REQUIRED TO REMAIN IN THAT CONDITION.
- DESIGN CRITERIA: INTERIOR HORIZONTAL DESIGN LOAD PER BUILDING CODE: 5 PSF WITH ALLOWABLE DEFLECTION OF L/360. Fy=33 KSI (20 & 18 GAUGE STUDS), RUNNER TRACK GAUGE TO MATCH STUD GAUGE U.N.O. TOP DEFLECTION TRACK TO BE 18 GAUGE.
- LATERAL BRACING IS NOT REQUIRED WHEN GYPSUM WALLBOARD IS INSTALLED FULL HEIGHT ON BOTH SIDES OF PARTITION, BUT LATERAL BRACING IS STILL REQUIRED AT 1'-0" BELOW DEFLECTION TRACK IF SLIP CLIPS AT DEFLECTION TRACK ARE NOT PROVIDED.
- PARTITIONS EXTENDING THROUGH CEILING TO BE PROVIDED WITH DRAFT STOP AT CEILING LINE OR G.W.B. TO BE CONTINUOUS ON BOTH SIDES TO TOP STUD TRACK.
- DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.N.O.
- REFERENCE DETAIL 16/A-501 FOR TYPICAL PARTITION FRAMING DETAILS.
- REFERENCE DETAILS ON A-501 FOR PARTITION TYPES.
- NOTIFY ARCHITECT IF +/- DIMENSION IS OFF BY MORE THAN 1".
- WHEN DEMISING WALL ENCOUNTERS COLUMNS, CARE SHOULD BE TAKEN TO ENCLOSE COLUMNS FOR UN-INTERRUPTED PEP BOYS WALL FACE. IF THIS CANNOT BE DONE MINIMIZE THE COLUMN INFRINGEMENT AND WRAP WITH APPROVAL FROM PEP BOYS REPRESENTATIVE. AUTOZONE & PEP BOYS MUST MUTUALLY APPROVE LOCATION AND DETAILS.



FLOOR & FIXTURE PLAN
SCALE: 1/8" = 1'-0"



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PEPBOYS AUTO SERVICE & TIRES

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FLOOR & FIXTURE PLAN AND DETAILS

A-101