

SITE PLAN

FOR

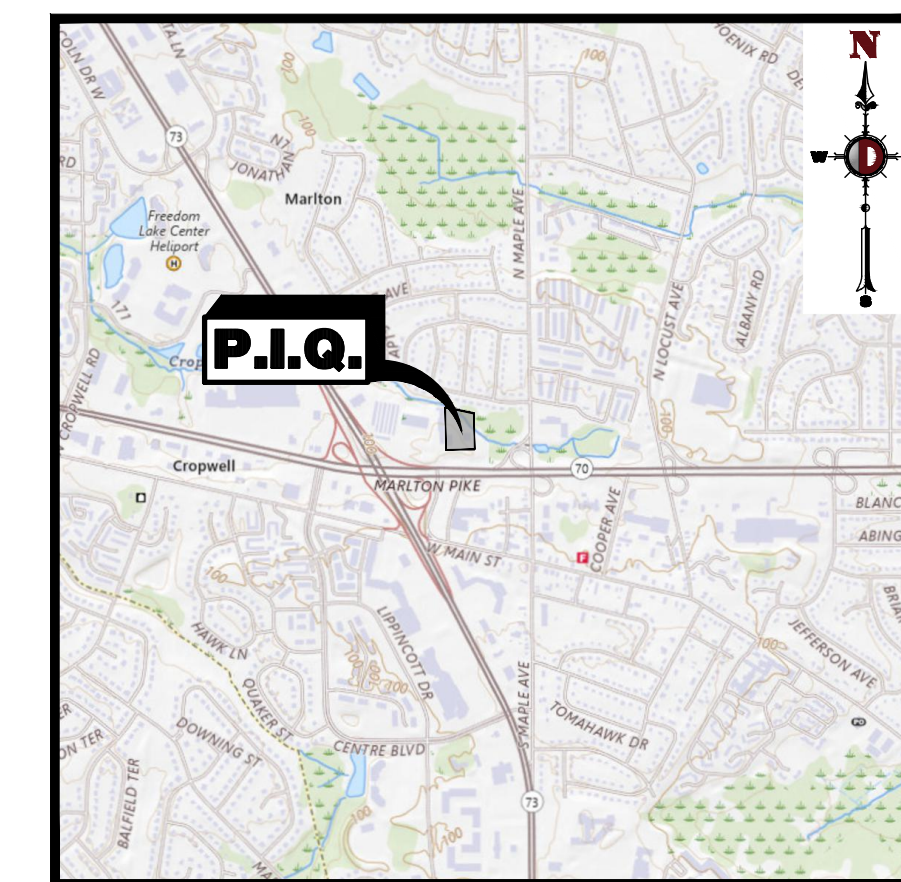
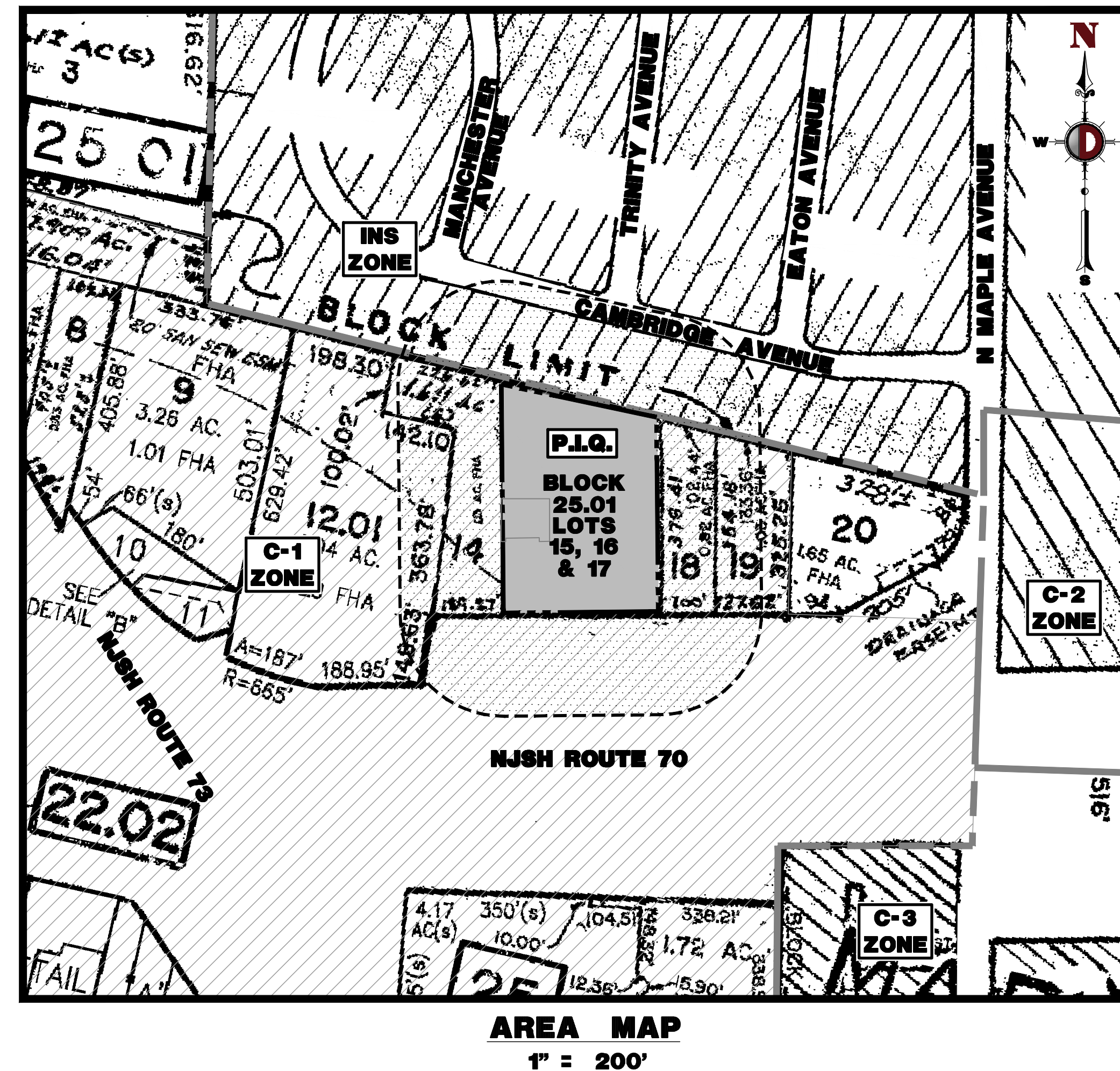
CHERRY VALLEY TRACTOR SALES PROPOSED BUILDING EXPANSION

BLOCK 25.01, LOTS 15, 16 & 17; TAX MAP SHEET #4 - LATEST REV. DATED 01/05/2018
35 WEST ROUTE 70,
TOWNSHIP OF EVESHAM
BURLINGTON COUNTY, NEW JERSEY

200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT
SHELTON, GEORGE J & DEBORAH ANN 117 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.16	1
MARTZ, DONNA M 119 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.16	2
CABRERA, STEVEN & ALTAMIRANO, LINDA 121 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.16	3
DEROSA, VINCENT J & THERESA M 109 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.17	1
JAREEH, NAFEESA 111 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.17	2
THATCHER, DIANE L 113 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.17	3
HALLINAN, KARI 105 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.19	5
BENDYNA, CHRISTIAN M 108 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.19	6
DUBROU, MITAH 110 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.19	7
DOMINGUEZ, YAHARA & LUIS 112 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.19	8
DEYO, LAWRENCE H & CHRISTINE A 114 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.19	9
REMS, WILLIAM 116 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.19	10
PELLEGRINO, THERESA M 118 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.19	11
FINCH, RAYMOND H & BETH C 120 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.19	12
MULLER, MICHELLE A 122 CAMBRIDGE AVENUE MARLTON, NJ 08053	20.19	13
SAMYER, LINDA 121 WESTMINSTER AVENUE MARLTON, NJ 08053	20.19	14
PUBLIC STORAGE PROPERTIES VII INC PO BOX 29029-27-144- 29413 GLENDALE, CA 91201	25.01	9
WRIGHT, HAROLD K, JR 35 ROUTE 70 WEST MARLTON, NJ 08053	25.01	14, 18

ALSO TO BE NOTICED:
EVESHAM MUNICIPAL UTILITY AUTHORITY
100 SHARP ROAD
MARLTON, NJ 08053
PUBLIC SERVICE ELECTRIC & GAS
MANAGER-CORPORATE PROPERTIES
89 PARK PLAZA, 10B
NEWARK, NJ 07102
VERIZON NJ
PO BOX 2749
ARLSON, NJ 08001
CONNECTICUT REAL ESTATE DEPARTMENT
5100 HARDING HIGHWAY, SUITE 399
MAYS LANDING, NJ 08330
COMCAST CABLE TV
PO BOX 6025
CHERRY HILL, NJ 08034
SOUTH JERSEY GAS
150 JERSEY PLAZA, ROUTE 54
FOLSOM, NJ 08057



KEY MAP
1" = 2000'

DRAWING INDEX	
COVER SHEET	1 of 4
AERIAL MAP	2 of 4
DEMOLITION PLAN	3 of 4
SITE PLAN	4 of 4

PLANNING BOARD APPROVAL

APPROVED BY THE PLANNING BOARD OF TOWNSHIP OF EVESHAM, BURLINGTON COUNTY, NJ

CHAIRMAN	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
1904 MAIN STREET
LAKE COMO, NJ 07719
WWW.DYNAMICCEC.COM

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

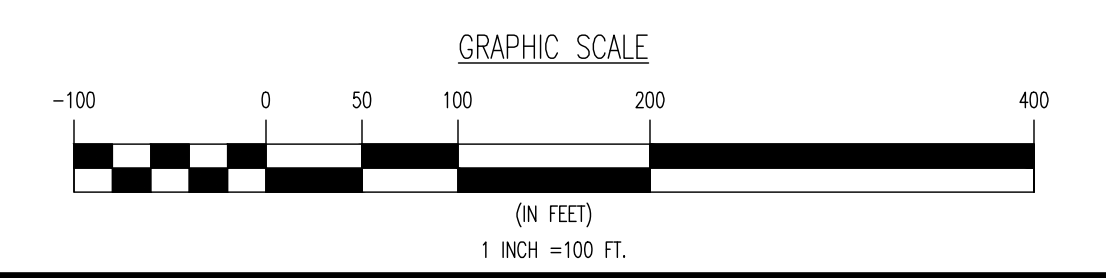
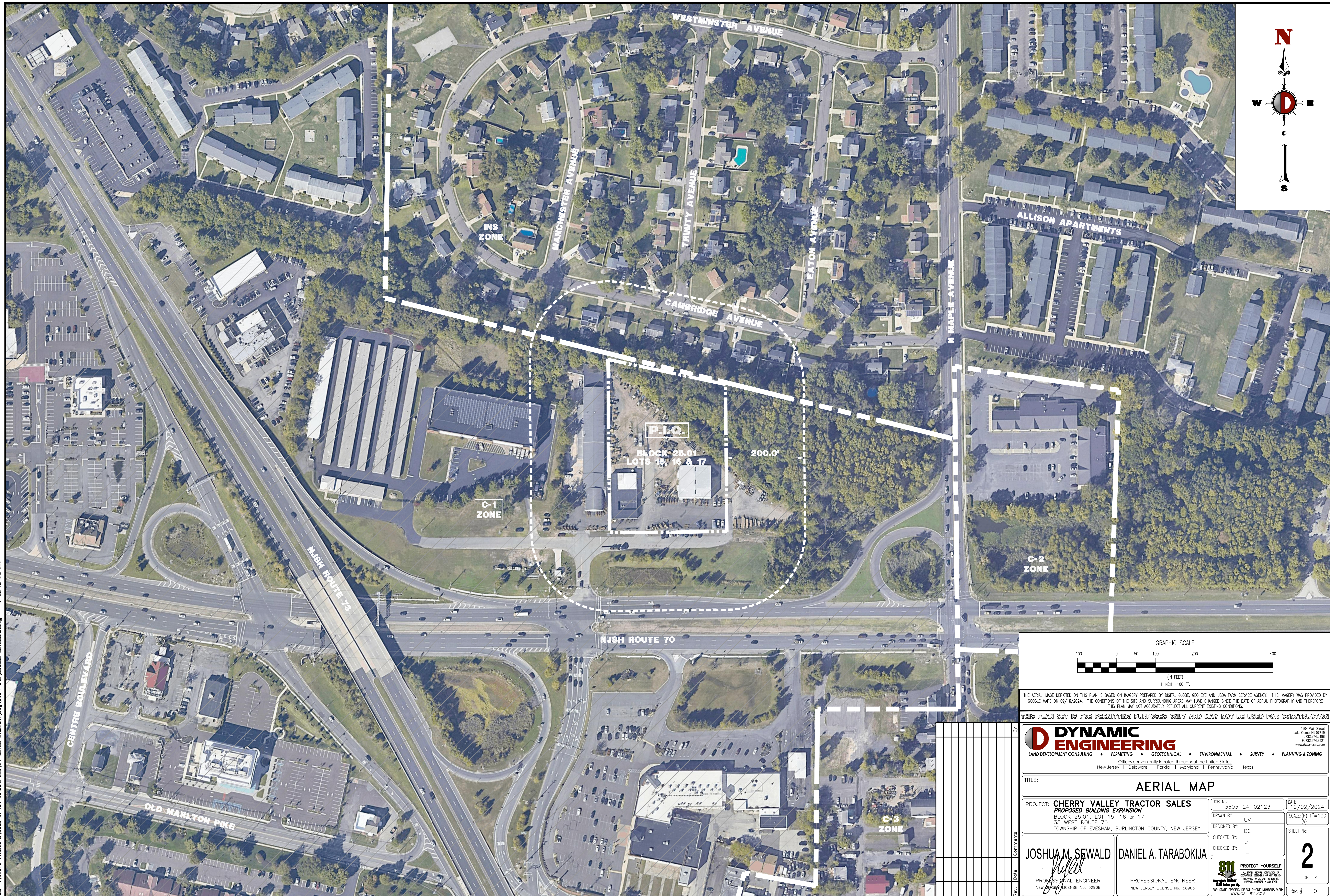
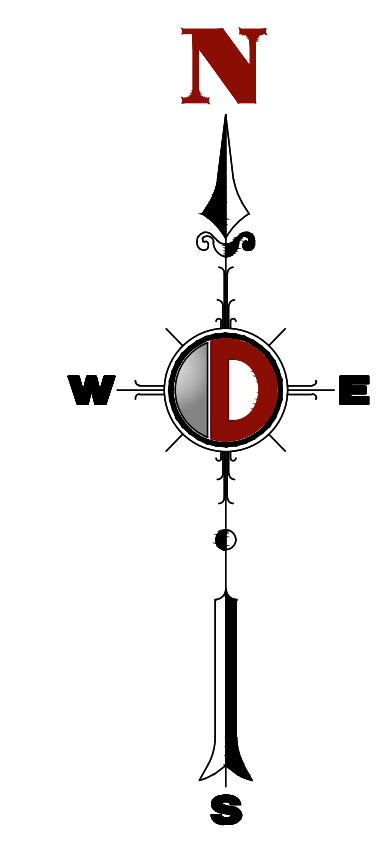
DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

Offices conveniently located throughout the United States:
New Jersey | Delaware | Florida | Maryland | Pennsylvania | Texas

1904 Main Street
Lake Como, NJ 07719
T: 732.874.0188
F: 732.874.3821
www.dynamiccec.com

TITLE: COVER SHEET	
PROJECT: CHERRY VALLEY TRACTOR SALES PROPOSED BUILDING EXPANSION BLOCK 25.01, LOT 15, 16 & 17 35 WEST ROUTE 70 TOWNSHIP OF EVESHAM, BURLINGTON COUNTY, NEW JERSEY	JOB No: 3603-24-02123 DATE: 10/02/2024 DRAWN BY: UV DESIGNED BY: BC CHECKED BY: DT CHECKED BY: -
JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908	DANIEL A. TARABOKIJA PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56963
<p>ALL STATES REQUIRE NOTIFICATION OF UNDERGROUND UTILITIES. IF ANY UTILITY PRESENCE IS SUSPECTED, CALL 811 FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p>	
<p>1 OF 4</p>	

Plotted: 10/02/24 - 4:43 PM, By: Uverose, Product: Verr, 24.3s (LMS Tech), File: P:\CEPC PROJECTS\3603 B_Totl Builders (Dwg) Site Plans\36032402123SHK.dwg, ---> 01 COVER SHEET



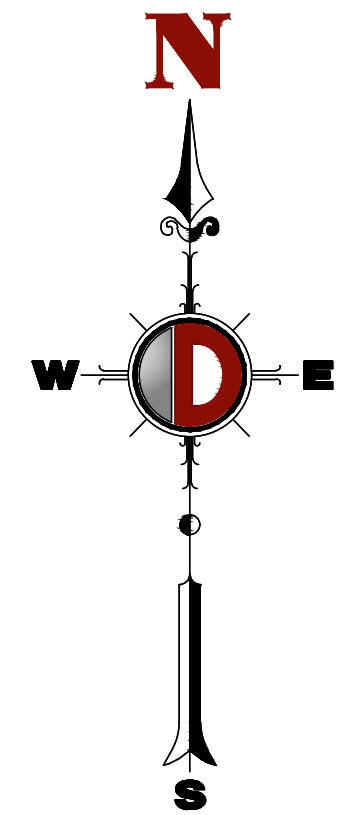
THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 09/16/2024. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING
 Offices conveniently located throughout the United States:
 New Jersey | Delaware | Florida | Maryland | Pennsylvania | Texas

TITLE: AERIAL MAP		JOB No: 3603-24-02123		DATE: 10/02/2024
PROJECT: CHERRY VALLEY TRACTOR SALES PROPOSED BUILDING EXPANSION		DRAWN BY: UV	SCALE: (H) 1"=100' (V)	
BLOCK: 25.01, LOT 15, 16 & 17 35 WEST ROUTE 70 TOWNSHIP OF EVESHAM, BURLINGTON COUNTY, NEW JERSEY		DESIGNED BY: BC	SHEET No:	
CHECKED BY: DT		2		
CHECKED BY: -				
JOSHUA M. SEWALD <i>[Signature]</i> PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908		DANIEL A. TARABOKIJA PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56963		
PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF EXISTING UTILITIES. IF ANY UTILITIES ARE LOCATED AT THE SITE, PLEASE PREPARE TO ORDER THE SERVICE OFFICE NUMBERS IN THE STATE FOR STATE OFFICE DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM		Rev. # 0		

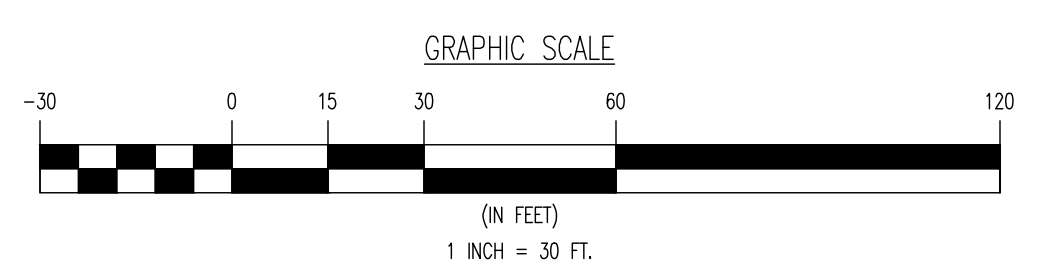
Plotted: 10/02/24 - 4:43 PM, By: lverose, Product: Venti 24.3s (LMS Tech)
 File: P:\BECPC PROJECTS\3603 B. Totl Builders LLC\24-02123 Evesham\DWG\Site Plans\36032402123S40.dwg, ----> 02 AERIAL MAP



DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND.
6. BREAK UP CONCRETE SUBS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR ADJACENT FACILITIES, IF APPLICABLE.
8. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR, BREAK BASEMENT FLOOR SLABS, SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVEN STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
9. ERECT AND MAINTAIN COVERED PASSAGeways IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. PLACE THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
10. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
11. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
12. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
13. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
14. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
15. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
16. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
17. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
18. VERIFY THAT ALL ENVIRONMENTAL CONCERNS INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD BASED PAINT, HAZMAT MATERIALS, UNDERGROUND STORAGE TANKS, AND TRANSFORMERS HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. THESE ARE NOT SHOWN ON THE PLANS. REFER TO ENVIRONMENTAL REPORTS AND DOCUMENTS FOR LOCATIONS AND DISPOSAL PROCEDURES.

- NOTES**
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.



DEMOLITION PLAN LEGEND

- PROPOSED LIMIT OF DISTURBANCE LINE
- - - - - PROPOSED TREE PROTECTION FENCE LINE
- EXISTING IMPROVEMENTS TO BE REMOVED UNLESS OTHERWISE NOTED
- ☼ TREES TO REMAIN
- ☼ TREES TO BE REMOVED
- ☼ TREES TO BE TRANSPLANTED/RELOCATED

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING
 Offices conveniently located throughout the United States:
 New Jersey | Delaware | Florida | Maryland | Pennsylvania | Texas

TITLE: **DEMOLITION PLAN**

PROJECT: **CHERRY VALLEY TRACTOR SALES PROPOSED BUILDING EXPANSION**
 BLOCK: 25-01, LOT: 15, 16 & 17
 35 WEST ROUTE 70
 TOWNSHIP OF EVESHAM, BURLINGTON COUNTY, NEW JERSEY

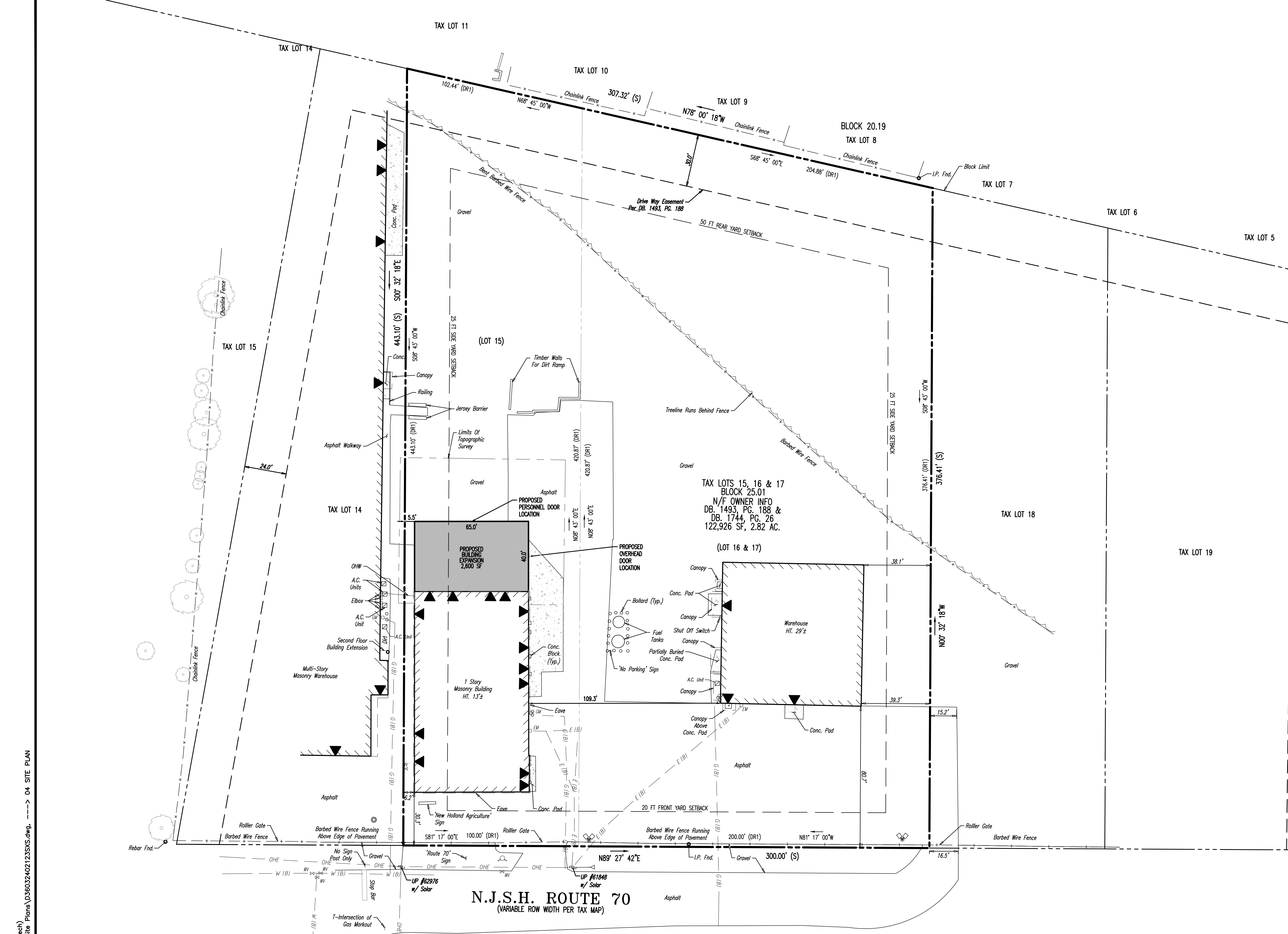
JOB No: 3603-24-02123 DATE: 10/02/2024
 DRAWN BY: UV SCALE: (H) 1"=30' (V)
 DESIGNED BY: BC SHEET No:
 CHECKED BY: DT
 CHECKED BY: -

JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908
DANIEL A. TARABOKIJA PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 56963

811 PROTECT YOURSELF
 ALL UTILITIES REQUIRE NOTIFICATION OF EXISTING RECORDS, OR ANY OTHER PREPARING TO EXCAVATE THE SERVICE AREAS, AT THE SITE.
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

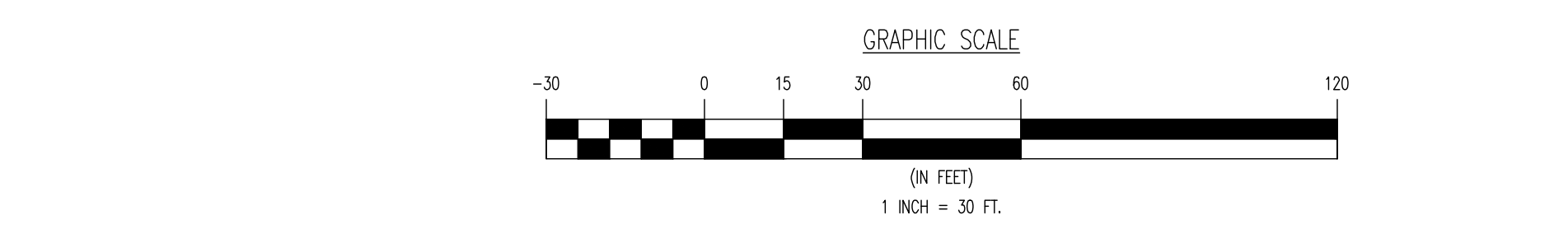
Rev. # 0

Plotted: 10/02/24 - 4:43 PM, By: uverose, Product: Ver: 24.3s (LMS Tech) File: P:\BECPC PROJECTS\3603 B. Totl Builders, LLC\24-02123 Evesham\DWG\Site Plans\036032402123SR0.dwg, ---> 03 DEMOLITION PLAN



GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
 - BOUNDARY, LOCATION & PARTIAL TOPOGRAPHIC SURVEY
 - DYNAMIC SURVEY, LLC
 - 245 WEST STREET SUITE 110
 - CHESTER, NJ 07930
 - SURVEYOR FILE NO: 3603-24-02129
 - 08/02/2024
 - APPLICANT/OWNER: CHERRY VALLEY TRACTOR SALES
35 ROUTE 70 WEST
MARLTON, NJ 08053
 - PARCEL DATA: BLOCK 20.01, LOTS 15, 16 & 17
TOWNSHIP OF EVESHAM
BURLINGTON COUNTY, NJ
 - ZONE: ZONE C-1 (COMMERCIAL 1 ZONE)
ZONE EVCO (EVESHAM CROSSROADS OVERLAY ZONE)
 - EXISTING USE: TRACTOR SALES AND SERVICE (PERMITTED USE) (§ 160-68)
 - PROPOSED USE: TRACTOR SALES AND SERVICE (PERMITTED USE) (§ 160-68)
 - SCHEDULE OF ZONING REQUIREMENTS (§ 160-68)
- | ZONE REQUIREMENT | ZONE C-1 | ZONE EVCO | EXISTING | PROPOSED |
|---|----------|----------------|----------------------|----------------------|
| MINIMUM LOT AREA | 2 AC | 1.5 AC | 122,926 SF (2.82 AC) | 122,926 SF (2.82 AC) |
| MINIMUM LOT WIDTH | 200 FT | N/S | 300.0 FT | 300.0 FT |
| MINIMUM LOT FRONTAGE | 200 FT | 150 FT | 300.0 FT | 300.0 FT |
| MINIMUM LOT DEPTH | 200 FT | 200 FT | 409.9 FT | 409.9 FT |
| MINIMUM FRONT YARD SETBACK | 100 FT | 20 FT | 30.3 FT | 30.3 FT |
| MINIMUM REAR YARD SETBACK (RESIDENTIAL) | 50 FT | N/S | 236.5 FT | 236.5 FT |
| MINIMUM REAR YARD SETBACK (NON-RESIDENTIAL) | 50 FT | 50 FT | N/A | N/A |
| MINIMUM SIDE YARD SETBACK (RESIDENTIAL) | 50 FT | N/S | N/A | N/A |
| MINIMUM SIDE YARD SETBACK (NON-RESIDENTIAL) | 30 FT | 25 FT | 5.5 FT (E) | 5.5 FT (E) |
| MINIMUM SETBACK TO OTHER BUILDING ON SAME SITE | N/S | 20 FT | 109.3 FT | 109.3 FT |
| MAXIMUM BUILDING HEIGHT [1] | 40 FT | 40 FT/3 STORES | 13.0 FT | 13.0 FT |
| MAXIMUM BUILDING COVERAGE (BY BUILDINGS & CANOPIES) | 15% | N/S | 11.7% | 13.8% |
| MAXIMUM IMPERVIOUS COVERAGE | 55% | 60% | 72.9% (E) | 72.9% (E) |
| MAXIMUM CLEARING LIMIT | 75% | N/S | N/A | N/A |
| MAXIMUM FAR (ONE-STORY) | 0.22 | 0.15 | 0.117 | 0.138 |
- N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-COMFORMANCE (V): VARIANCE
[1]: BUILDING HEIGHT IS REFLECTIVE OF ONLY THE BUILDING WHICH IS BEING MODIFIED
- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.
 - PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
 - THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
 - SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
 - THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 - ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 - CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
 - ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, HOLD HARMLESS AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
 - NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTORS POLICIES OF GENERAL LIABILITY INSURANCE.
 - DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR REVIEWING OR CHECKING THE WORK FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR REVIEWING OR CHECKING THE WORK FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR REVIEWING OR CHECKING THE WORK FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR REVIEWING OR CHECKING THE WORK FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES.
 - IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES ARISING OUT OF OR RELATING TO THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
 - THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THESE AGREEMENTS.
 - IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THEREOF AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
 - ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
 - THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
 - CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTORS RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
 - CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMP AND ACCESSIBLE ROUTE MUST COMPLY WITH N.J.A.C. 17:27 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.



Plotted: 10/02/24 - 4:44 PM, By: uverose, Product Ver: 24.3s (LMS Tech)
 File: P:\BECPC PROJECTS\3603 B. Totl Builders LLC\24-02123 Evesham\DWG\Site Plans\036032402123S3S.dwg, --> 04 SITE PLAN

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

Offices conveniently located throughout the United States:
 New Jersey | Delaware | Florida | Maryland | Pennsylvania | Texas

1904 Main Street
 Lake Como, NJ 07719
 T: 732.874.0188
 F: 732.874.3821
 www.dynamiceng.com

TITLE: **SITE PLAN**

PROJECT: **CHERRY VALLEY TRACTOR SALES
 PROPOSED BUILDING EXPANSION**

JOB No: 3603-24-02123 DATE: 10/02/2024

DRAWN BY: UV SCALE: (H) 1"=30'
 DESIGNED BY: BC (V)

CHECKED BY: DT SHEET No:

CHECKED BY: -

JOSHUA M. SEWALD **DANIEL A. TARABOKIJA**

PROFESSIONAL ENGINEER PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52908 NEW JERSEY LICENSE No. 56963

811 PROTECT YOURSELF
 ALL UTILITIES REQUIRE NOTIFICATION OF
 EXISTING UTILITIES. IF ANY UTILITY
 PRESENCE IS NOT SHOWN ON THE SITE
 PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE
 FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT:
 www.call811.com

Rev. # 0