

SP-1

DRAWING NUMBER

SITE PLAN INFORMATION  
 TAKEN FROM SURVEY OF  
 PROPERTY DATED  
 10-10-2022, BY V&A  
 SURVEYING & LAND  
 PLANNING, FRANK A  
 INTENSSIMONI, P.L.S., N.J.L.C.  
 31656, 69 S. WHITE HORSE  
 PIKE, SUITE 101, BERLIN, NJ  
 08009, PROJECT #22150

PROPOSED SITE PLAN & NOTES

**RANDALL HOLBERG LLC  
 ARCHITECTS**

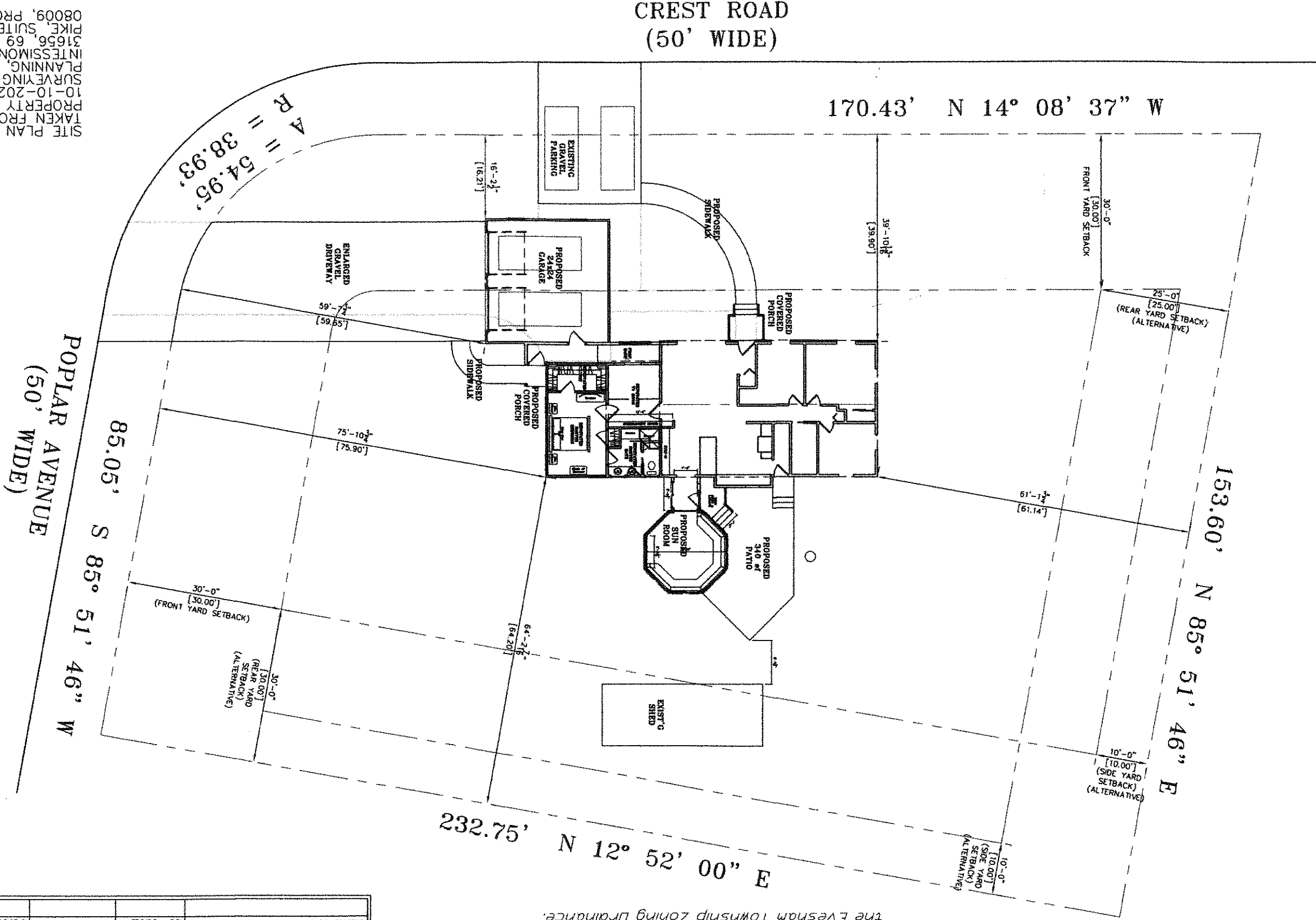
178 SOUTH LAKESIDE DRIVE EAST • MENDOTON, NEW JERSEY 08055  
 TELE: (609) 923-3423 EMAIL: RLH@RLHARCHITECTS.COM

PROPOSED RENOVATION, SUN ROOM & GARAGE ADDITIONS AT DYBALSKI RESIDENCE

228 CREST ROAD \* EVESHAM, NJ \* BLOCK - 81.13 LOT - 19

Drawn By: RLH Date: 02/24/2025 Scale: 1" = 20'-0"  
 Checked By: RLH Revised: 03/06/2025 Project No.: 24-15

For no one can lay any foundation other than the one already laid, which is Jesus Christ, 1 Corinthians 3:11 NV

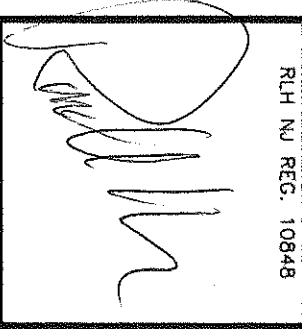


PROJECT DESCRIPTION

The applicants, Mr. & Mrs. Dybalski are seeking zoning approval to permit the construction of multiple additions to their residence including a covered front porch, two-car garage and sun room. The existing property is in the RD-1 Rural Development. The proposed two-car garage addition will encroach upon the minimum front yard setback per the provisions in the Evesham Township Zoning Ordinance.

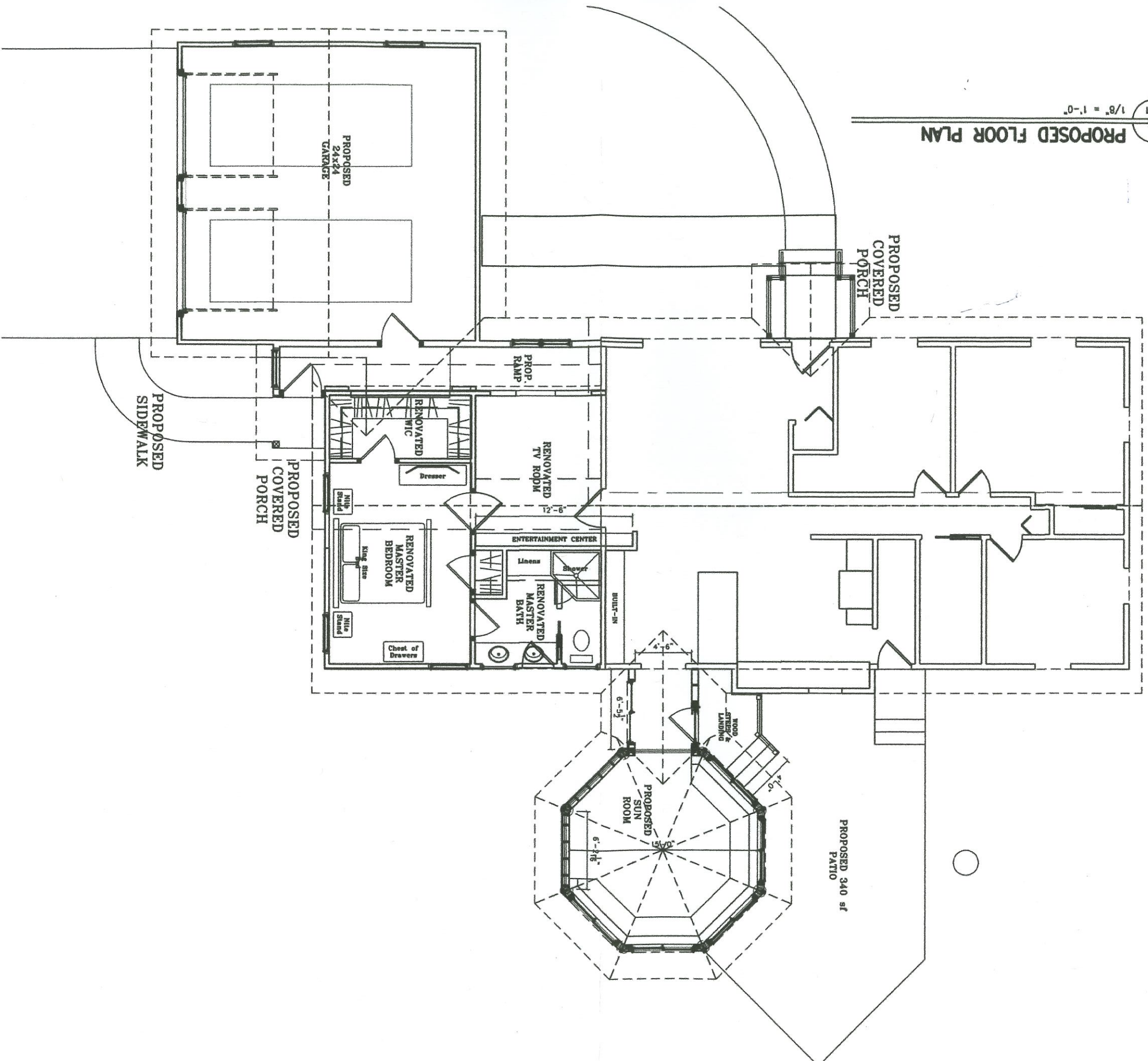
ZONING REQUIREMENTS - R-2 Single Family Detached Residence with Well & Septic in Rural Development RD-1 Zoning District				
REQ/PERM.	EXISTING	PROPOSED	ACTION	
LOT AREA	26,977.7 sf	26,977.7 sf	NONE	
IMPERVIOUS COVERAGE (25%)	0,744.4 sf	4,139.92 sf	5,096.96 sf	NONE
SIDE YARD-HOUSE	10' each	61.14'	61.14'	NONE
FRONT YARD-(Crest Road)	30.0'	39.90'	16.21'	VARIANCE
FRONT YARD-(Poplar Avenue)	30.0'	75.90'	59.65'	NONE
REAR YARD	25' each	64.20'	64.20'	NONE

RLH NJ REG. 10848



1  
PROPOSED FLOOR PLAN

1/8" = 1'-0"



PROPOSED FLOOR PLAN

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A-1

**RANDALL HOLBERG LLC**  
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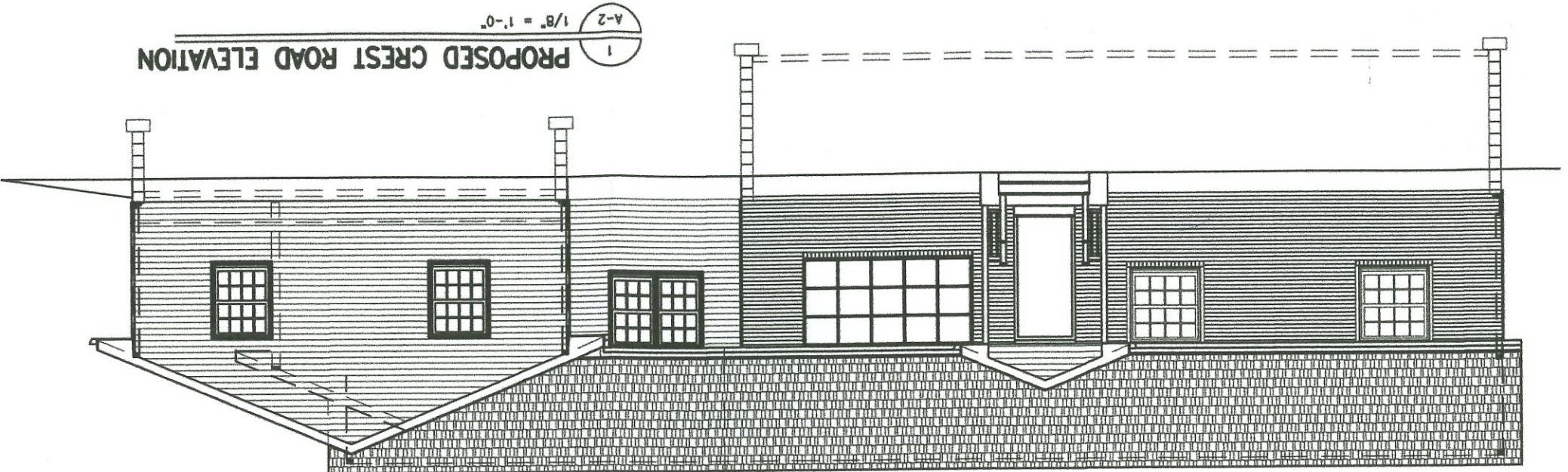
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**PROPOSED RENOVATION, SUN ROOM & GARAGE ADDITIONS AT DYBAISKI RESIDENCE**  
228 CREST ROAD \* EVESHAM, NJ \* BLOCK - 81.13 LOT - 19

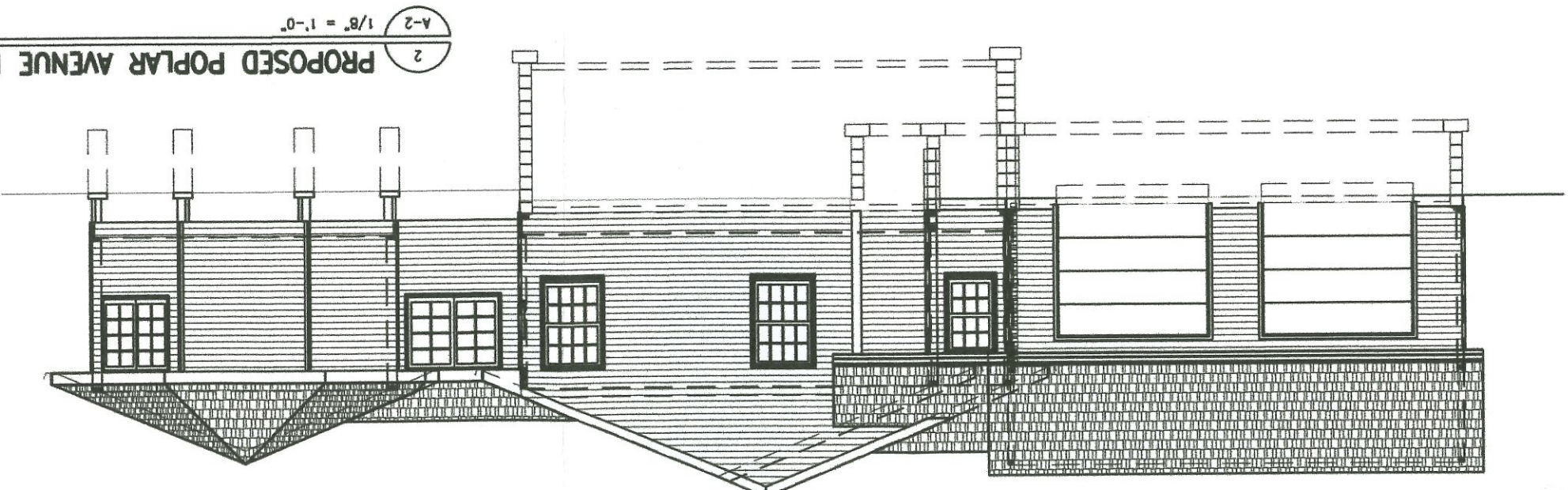
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1  
A-2 1/8" = 1'-0"  
PROPOSED CREST ROAD ELEVATION



2  
A-2 1/8" = 1'-0"  
PROPOSED POPLAR AVENUE ELEVATION

## PROPOSED ELEVATIONS

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**A-2**

For no one can lay any foundation other than the one already laid, which is Jesus Christ. 1 Corinthians 3:11 NIV