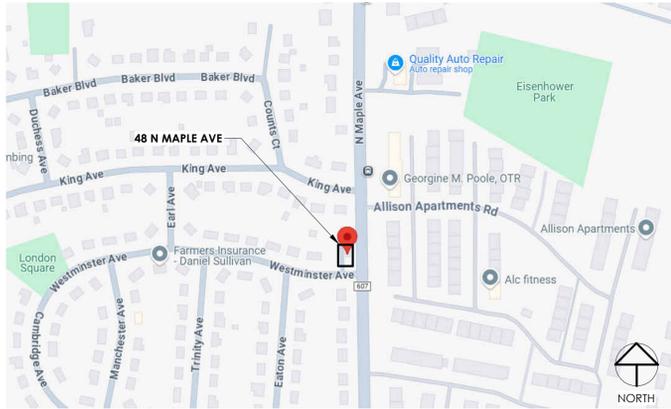


ABBREVIATIONS

ABV Above	ACV Access Panel	ACW Acoustical Ceiling Tile	ADD Area Drain	ADDL Addendum	ADH Adhesive	ADJ Adjacent	ADJT Adjustable	AFF Above Finish Floor	AGG Aggregate	AC Air Conditioning	ALT Alternate	ALUM Aluminum	AB Anchor Bolt	ANOD Anodized	APPROX Approximate	ARCH Architect (ural)	ASPH Asphalt (c)	AUTO Automatic	AVG Average																				
BBD Base Board	BP Base Plate	BSMT Basement	BM Beam	BE Below	BAK Bench Mark	BET Between	BYD Beyond	BLK Bituminous	BLK Block	BLKG Blocking	BLS Bluestone	BD Board	BS Both Sides	BOT Bottom	BOC Bottom Of Concrete	BOF Bottom Of Footing	BOS Bottom Of Steel	BOW Bottom Of Wall	BRCG Bracing	BRK Bracket	BRK Brick	BC Brick Course	BRZ Bronze	BLDG Building															
CAB Cabinet	CPT Carpet	CB Catch Basin	CK Caulk	CLG Ceiling	CEM Cement	CTR Center	CL Center Line	CT Ceramic Tile	CHBD Chalkboard	CHAM Chamfer	C Channel	CO Clean Out	CLR Clear (ance)	CLO Closet	CW Cold Water	COL Column	COMB Combination	COMP Comp	COMPR Compress (ed) (ible)	CONC Concrete	CMU Concrete Masonry Unit	COND Condition (al)	CNDT Conduit	CONN Connect (or) (ion)	CONST Construction	CONT Continuous	CONTR Control Joint	COORD Coordinate	CPR Cooper	CORR Corrugated	CNTR Counter	CFR Counterflashing	CS Countersunk	CRS Course (s)	CVR Cover	CFT Cubic Foot	CYD Cubic Yard	CUS Custom	
DPR Damper	DMPF Damp Proofing	DL Dead Load	DEMO Demolish (Demolition)	DEPT Department	DEPR Depress (ed)	DET/DTL Detail	DIA Diameter	DIFF Diffuser	DIM Dimension	DSP Dispenser	DWY Division	DR Door	DBL Double	DWL Dowel	DN Down	DS Down Spout	D Drain	DWR Drawer	DWG Drawing																				
EA Each	E East	ELAS Elastomeric	ELEC Electric (al)	EP Electrical Panel	EWC Electrical Water Cooler	ELEV Elevation	EL Elevator	EMER Emergency	ENC Enclosure	ENT Entrance	EPX Epoxy	EQ Equal	EQP Equipment	EST Estimate	EXC Excavate (Excavation)	EXH Exhaust	EXG Existing (Existing)	ED Existing Dimension	EPS Expanded Polystyrene	EB Expansion Bolt	EXP JT Expansion Joint	EXP Expose (d)	EXT Exterior	EXTR Extrusion	FAB Fabricate (Fabricator)	FB Face Brick	FO Face of building	FOC Face of Concrete	FOM Face of Masonry	FOS Face of Stud									
FOW Face of Wall	FAN Fan Coil Unit	FAS Fasten (er)	FND Feminine Napkin Disposal	FNV Feminine Napkin Vendor	FBD Fiberboard	FGL Fiberglass	FIN Finish	FFL Finish Floor	FFE Finish Floor Elevation	FGD Finish Grade	FF Finish (ed) Face	FA Fire Alarm	FEC Fire Extinguisher Cabinet	FRC Fire-resistant Coating	FRT Fire-retardant	FPF Fireproof (ing)	FXD Fixed	FLG Flashing	FLX Flexible	FLR Floor	FD Floor Drain	FLUOR Fluorescent	FT Foot (Feet)	FTG Footing	FDN Foundation	FR Frame (d) (ing)	FS Full Size	FBO Furnish By Others	FOIC Furnished By Owner, Installed By Contractor	FURN Furnish (ed)	FUR Furred (ing)	FUT Future							
GA Gage (Gauge)	GAL Gallon	GALV Galvanized (d)	GSM Galvanized Sheet Metal	GSTL Galvanized Steel	GL Glass	GFRG Glass Fiber Reinforced Gyp.	GIZE (d) (ing)	GBR Grab Bar	GD Grade (ing)	GRN Granite	GRD Ground	GND Grounded Waterproof Outlet	GT Grout	GVD Gypsum Drywall	HNRL Handrail	HDW Hardware	CK Caulk	HDR Header	HTR Heater	HTG Heating, Ventilating & Air Conditioning	HT Height	HEX Hexagonal	HP High Point	HMDRF Hollow Metal Door Frame	HK Hook	HORIZ Horizontal	HW Hot Water	HW Hot Water Heater	HR Hour	HYD Hydrant									
INCH Inch	INCL Include (d) (ing)	ID Inside Diameter	INSUL Insulate (d) (ing)	INT Interior	INV Invert	CONTIN Continuous	JAN Janitor	JT Joint	JF Joint Filler	KPL Kick Plate	L Label	LAD Ladder	LAM Laminate (d)	LAV Lavatory	LCCPR Lead Coated Copper	LH Left Hand	LNG Length (Long)	LIG Light	LW Light-weight	LMS Limestone	LIN Linoleum	LTL Lintel	LL Live Load	LKG Looking	LVR Louver	LP Low Point													
MACH Machine	MH Manhole	MFR Manufacturer	MRB Marble	MAS Masonry	MO Masonry Opening	MATL Material	MAX Maximum	MECH Mechanical	MED Medium	MEMB Membrane	MTL Metal (c)	MM Millimeter	MWK Millwork	MIN Minimum	MIR Mirror	MISC Miscellaneous	MOD Modular	MLDG Molding	MR Mop Receptacle	MRT Mortar	MT Mount (ed)	MOV Movable	MUL Mullion	NAT Natural	NEO Neoprene	NOM Nominal	N North	NIC Not in Contract	NTS Not to Scale	NUM Number	OA Overall	OC On Center	ORD Overflow Roof Drain	OPQ Opaque	OPNG Opening	OPP Opposite	OPPF Opposite Face	OPPH Opposite Hand	OPPS Opposite Side
OZ Ounce	OTO Out to Out	OD Outside Diameter	OVHD Overhead	P Page	PR Panel	PNL Panel	PTD Paper Towel Dispenser	PTR Paper Towel Receptacle	PAR Parallel	PBD Particle Board	PTN Partition	PVMT Pavement	PERF Perforate (d)	PERI Perimeter	PERP Perpendicular	PLAS Plaster	PLAM Plastic Laminare	PL Plate	PNT Paint (ed)	PLYWD Plywood	PT Point	PSF Pounds Per Square Foot	PSI Pounds Per Square Inch	PIP Poured In Place	PPF Prefabricated	PS Preliminary	PFM Preformed	PMF Premolded Filler	PRT Pressure Treated	PROJ Project	QT Quarry Tile	QTR Quarter							
RAD Radius	REC Recessed	RECT Rectangular	REF Reference	RP Reference Point	RFL Reflect (ed)	REFR Refrigerator	REG Reel	REINF Reinforcing (ment)	RLF Relief	RMV Remove (able)	REQ Require (d)	RES Resilient	RTN Return	RA Return Air	REV Reverse (d) (ion)	RH Right Hand	R Riser	RD Roof Drain	RFG Roofing	RM Room	RO Rough Opening	RND Round	RBR Rubber	RWC Rain Water Collector															
SCHD Schedule	SCN Screen	SNT Sealant	SEC Section	SSK Service Sink	SB Setting Bed	SHTH Sheathing	SHT Sheet	SH Shelf (Shelving)	SHR Shoring	SIM Similar	SLV Sleeve	S Soundproofing)	S South	SPK Speaker	SPL Special	SPEC Specification (s)	SFP Spray Fireproofing	SG Square	SF Square Foot	STAG Staggered	SST Stainless Steel	STD Standard	STL Steel	STOR Storage	STRUCT Structure (al)	SUR Surface	SUSP Suspended	SW Switch	SYM Symmetrical	SYN Synthetic	SYS System								
TKBD Tackboard	TEL Telephone	TEMP Temperature	THER Thermostat	THRESHLD Threshold	THK Thick (ness)	TLT Toilet	TPIN Toilet Partition	T&G Tongue And Groove	TO Top Of	TOC Top Of Concrete	TOF Top Of Footing	TOS Top Of Steel	TOW Top Of Wall	TD Towel Dispenser	TRANS Transparent	TR Tread	TYP Typical																						
UNF Undercut	UNF Unfinished	UON Unless Otherwise Noted	URTH Urethane	U/S Underside	UTIL Utility	VB Vapor Barrier	VNR Veneer	VENT Ventilating	VERF Verif in Field	VERT Vertical	VCB Vinyl Cove Base	VCT Vinyl Composite Tile	VS Vinyl Straight Base	VOL Volume																									
WC Water Closet	WR Water Repellent	WS Water Stop	WP Waterproof (ing)	WT Weight	WWF Welded Wire Fabric	W West	WF Wide Flange	WDW Window	WM Wire Mesh	W With	W/O Without	WD Wood	WB Wood Base																										

NUMBER	NAME
Z-100	ZONING COVERSHEET
Z-101	SITE PLANS & CODE REVIEW - ZONING
Z-102	EXISTING ZONING ELEVATIONS
Z-103	PROPOSED ZONING ELEVATIONS
Z-104	RENDERINGS
Z-105	PROPOSED FLOOR PLANS
Z-106	PROPOSED FLOOR PLANS



**NORTH EXTERIOR**  
EXISTING ASPHALT EDGE & PARKING BUMPERS



**NORTHWEST EXTERIOR**  
EXISTING BUILDING ENTRY & REMOVED IMPERIOUS AREA



**SOUTHEAST EXTERIOR**  
EXISTING SHRUBS & PROPOSED RES. ENTRY LOCATION

# MAPLE AVE RENOVATIONS

48 N. MAPLE AVE, MARLTON, NJ 08053

**PROJECT SCOPE:**

RENOVATION OF EXISTING TWO-STORY BUILDING TO LEGALIZE GROUND FLOOR OFFICE USE. NEW RESIDENTIAL USE PROPOSED AT 2ND FLOOR FOR ONE DWELLING UNIT. EXISTING PITCHED ROOF TO BE REMOVED FOR A NEW FLAT ROOF. NEW WRAP AROUND ROOF, NEW EXTERIOR ENTRY RAMP, AND NEW EXTERIOR ENTRY STEPS PROPOSED AT 1ST FLOOR.

NUMBER OF PARKING SPACES PROVIDED - 10

**ZONING CRITERIA:**

- ZONING BASE DISTRICT CLASSIFICATION: MD - SINGLE FAMILY DETACHED
- DIMENSIONAL STANDARDS (TABLE 11. 160 ATTACHMENT 11)
 

	EXISTING	PROPOSED	
2.1. MIN LOT AREA	10,000 SF	22,500 SF (INCL ROAD)	NO CHANGE
2.2. MIN LOT WIDTH AT SETBACK	80'	117'	NO CHANGE
2.3. MAX CLEARING LIMIT RATIO	0.5	0	NO CHANGE
2.4. MIN. FRONT YARD DEPTH	30'	12' - 6 1/2"	NO CHANGE
2.5. MIN SIDE YARD DEPTH	10'	44' - 2 1/2"	43' - 8 1/2"
2.6. MIN REAR YARD DEPTH	25'	70' - 6 1/4"	70' - 8 1/4"
2.7. MAX IMPERVIOUS COVERAGE	0.15	0.277 (6,243 SF)	.270 (6,084 SF)
2.8. MAX BUILDING HT	35'	23'-5" +/-	22'
2.9. MIN USABLE YARD AREA	20%	50%	NO CHANGE
- TABLE 160-64 NOTES
  - MD PERFORMANCE REQUIREMENTS:
    - THE AREA AND DIMENSIONAL REQUIREMENTS AS SET FORTH IN TABLE 11. MD PERFORMANCE REGULATIONS. LOCATED AT THE END OF THIS CHAPTER, SHALL APPLY.
    - THE FOLLOWING DIMENSIONAL REQUIREMENTS FOR ACCESSORY USES AND STRUCTURES SHALL APPLY:
      - NO ACCESSORY USE OR STRUCTURE SHALL BE PERMITTED IN THE FRONT YARD SETBACK.
      - THE SIDE AND REAR SETBACK SHALL BE EQUAL TO 1/2 OF THE REQUIREMENT FOR THE PRINCIPAL BUILDING, EXCEPT FOR SHEDS, LESS THAN 150 SQUARE FEET IN AREA, WHICH MAY LOCATED NO CLOSER THAN FIVE FEET FROM A PROPERTY LINE.
- SCREENING BUFFER WIDTHS (TABLE 1, 160 ATTACHMENT 1)
 

PROPOSED LAND USE	OFFICE	SFD	50'
4.1. PROPOSED LAND USE	OFFICE	SFD	50'
- 160-17 BUFFER AND SCREEN STANDARDS
  - PURPOSE AND APPLICABILITY
    - BUFFERS AND SCREENS SHALL BE INCLUDED WITH SUBMITTED SITE PLAN AND SUBDIVISION APPLICATIONS.
    - BUFFERS AND SCREENS SHALL BE ONE OF THE FOLLOWING TYPES:
      - PERIMETER BUFFERS SHALL BE PLACED ALONG BOUNDARY LINES, WHICH ARE NOT STREET LINES; ALONG STATE HIGHWAY RIGHTS-OF-WAY; AND AROUND THE ENTIRE PERIMETER OF STORMWATER MANAGEMENT BASINS.
      - SITE ELEMENT SCREENS SHALL BE PLACED AROUND THE PERIMETER OF ALL PARKING LOTS OR OTHER SIMILAR VEHICULAR USE AREAS, INCLUDING SERVICE STATIONS AND VEHICULAR STACKING LANES ASSOCIATED WITH A DRIVE-THROUGH, BUT THEY NEED NOT BE USED ALONG DRIVEWAYS OR ACCESSWAYS. SITE ELEMENT SCREENS SHALL ALSO BE PLACED AROUND THE NONACCESSIBLE SIDES OF TRASH ENCLOSURES, EQUIPMENT OR STORAGE BUILDINGS AND YARDS, AND UTILITY BOXES, WHEN THESE ELEMENTS ARE NOT OTHERWISE SCREENED FROM OFF-SITE VIEWS BY BUILDINGS OR PRESERVED NATURAL FEATURES.
      - SCREENING BUFFERS SHALL BE PLACED BETWEEN ADJOINING INCOMPATIBLE LAND USES OR ZONING DISTRICTS AND BE OF THE WIDTHS SPECIFIED IN THE FOLLOWING CHART. PERIMETER BUFFERS, INDICATED WITH A "P" IN THE CHART, SHALL BE PLACED BETWEEN COMPATIBLE LAND USES OR ZONING DISTRICTS, AND BE A MINIMUM OF 15 FEET IN WIDTH.
  - GENERAL BUFFER AND SCREEN COMPOSITION AND PLANTING STANDARDS
    - BUFFERS AND SCREENS MAY BE COMPRISED OF EXISTING VEGETATION AND NATURAL FEATURES; PROPOSED NEW OR TRANSPLANTED VEGETATION; EXISTING OR PROPOSED FENCES, WALLS AND/OR BERMS, WHEN BERMS ARE INCLUDED IN A BUFFER, A CURVILINEAR OR NATURALISTIC ARRANGEMENT IS ENCOURAGED.
    - NO STRUCTURE, ACTIVITY, STORAGE OF MATERIALS OR PARKING OF VEHICLES SHALL BE PERMITTED WITHIN A BUFFER AREA.
    - THE FOLLOWING METHODS SHALL BE USED FOR THE PURPOSE OF CALCULATING THE AMOUNT OF PLANT MATERIAL REQUIRED WITHIN A BUFFER OR SCREEN:
      - A BUFFER LENGTH SHALL BE MEASURED AT THE PROPERTY LINE OR RIGHT-OF-WAY LINE, AND SHALL INCLUDE ALL EXISTING OR PROPOSED DRIVEWAY OPENINGS OR EASEMENTS.
      - AT LEAST 50% OF ALL SHADE TREES AND 25% OF THE SHRUBS SHALL BE NATIVE TO THE REGION.
      - AT LEAST 50% OF THE SHRUBS SHALL BE EVERGREEN.
      - UP TO 50% OF THE REQUIRED SHADE TREES MAY BE SUBSTITUTED WITH ORNAMENTAL TREES AT A RATIO OF TWO ORNAMENTAL TREES FOR EACH SHADE TREE.
      - UP TO 50% OF THE REQUIRED SHRUBS MAY BE SUBSTITUTED WITH ORNAMENTAL GRASSES, WHICH ATTAIN A MINIMUM HEIGHT OF THREE FEET.
      - A MINIMUM OF 50% OF THE BUFFER WIDTH MUST CONTAIN REQUIRED PLANTINGS.
      - PLANTS SHALL BE DISTRIBUTED THROUGHOUT THE ENTIRE LENGTH OF BUFFERS, BUT NEED NOT BE EVENLY SPACED. HOWEVER, THERE SHALL BE NO MORE THAN 100 FEET BETWEEN SHADE TREES, 50 FEET BETWEEN EVERGREEN TREES, AND 50 FEET BETWEEN SHRUB CLUSTERS.
  - SPECIFIC BUFFER AND SCREEN REQUIREMENTS
    - SCREENING BUFFERS SHALL CONTAIN THE FOLLOWING QUANTITY OF PLANT MATERIAL PER 100 FEET OF BUFFER LENGTH:
      - FOR ONE-HUNDRED-FOOT-WIDE BUFFERS: TWO SHADE TREES, PLUS SIX EVERGREEN TREES, STAGGERED TO BLOCK OBLIQUE VIEWS, PLUS 20 SHRUBS, PLUS A SIX-FOOT-HIGH OPAQUE FENCE.
      - FOR SEVENTY-FIVE-FOOT WIDE BUFFERS: TWO SHADE TREES, PLUS FOUR EVERGREEN TREES, STAGGERED TO BLOCK OBLIQUE VIEWS, PLUS 20 SHRUBS.
      - FOR BUFFERS UP TO 50 FEET IN WIDTH: TWO SHADE TREES, PLUS TWO EVERGREEN TREES, PLUS 20 SHRUBS.
- 160-75. SIGNS.
  - GENERAL DESIGN STANDARDS AND REQUIREMENTS.
    - PERMITTED SIGNS. THE FOLLOWING REGULATIONS SHALL BE OBSERVED FOR ALL SIGNS IN ALL ZONING DISTRICTS IN THE MUNICIPALITY:
      - ONLY SIGNS WHICH PROMOTE OR DRAW ATTENTION TO A PRODUCT, ARTICLE OR BUSINESS, OR SERVICE OFFERED, OR RENDERED AT OR FROM THE PREMISES WHERE SUCH SIGN IS LOCATED SHALL BE PERMITTED IN THE MUNICIPALITY, EXCEPT FOR POLITICAL SIGNS AS REGULATED BY THIS SECTION.
      - HEIGHT. NO PORTION OF THE TOP EDGE OF ANY FREESTANDING SIGN SHALL BE GREATER THAN 22 FEET ABOVE THE ELEVATION AT THE CENTER LINE OF THE STREET IN FRONT OF THE PROPERTY ON WHICH THE SIGN SHALL BE SITUATED.
      - SETBACK. EXCEPT WHERE OTHERWISE PROVIDED, NO SIGN OR ANY PART THEREOF SHALL BE LOCATED CLOSER THAN 10 FEET FROM ANY RIGHT-OF-WAY LINE OR LOT LINE. ANY NEW SIGN SHALL BE NOT LESS THAN A DISTANCE OF 50 FEET FROM ANY EXISTING ADJACENT FREESTANDING SIGN, EXCEPT AS OTHERWISE PROVIDED.
      - SHAPE. THE FACE OF EVERY FREESTANDING SIGN, EXCEPT FOR POLITICAL SIGNS, SHALL BE A REGULAR GEOMETRIC SHAPE. IT SHALL NOT CONTAIN CHARACTERS OR GRAPHICS EXCEEDING THREE INCHES IN RELIEF FROM THE SIGN FACE. THE MAXIMUM DISTANCE BETWEEN THE FACES OF THE DOUBLE-FACED SIGN SHALL NOT EXCEED 18 INCHES.
    - LOCATION ON BUILDINGS. ALL SIGNS ATTACHED TO A BUILDING SHALL BE ATTACHED FLAT AGAINST THE FACADE OF THE BUILDING AND SHALL NOT PROJECT OR EXTEND BEYOND THE EDGE OF THE FACADE TO WHICH IT IS ATTACHED. SIGNS ERRECTED FLAT AGAINST THE SIDE OF A BUILDING SHALL NOT EXTEND ABOVE THE HEIGHT OF A VERTICAL WALL OR EAVE TO WHICH THEY ARE ATTACHED.



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48 N. Maple Ave  
Marlton, NJ 08053

**Owner+**  
TG Properties LLC  
601 White Horse Pike  
Hammonton, NJ 08037

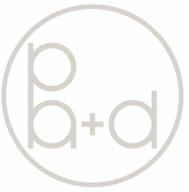
**General Contractor+**

**Structural Engineer+**

DATE	DESCRIPTION
04.10.25	ZONING HEARING BOARD RESUBMISSION
02.03.25	ZONING HEARING BOARD
01.15.25	ZONING PERMIT SET
01.07.25	CHECK SET TO OWNER

Date 04.10.25  
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## ZONING COVERSHEET



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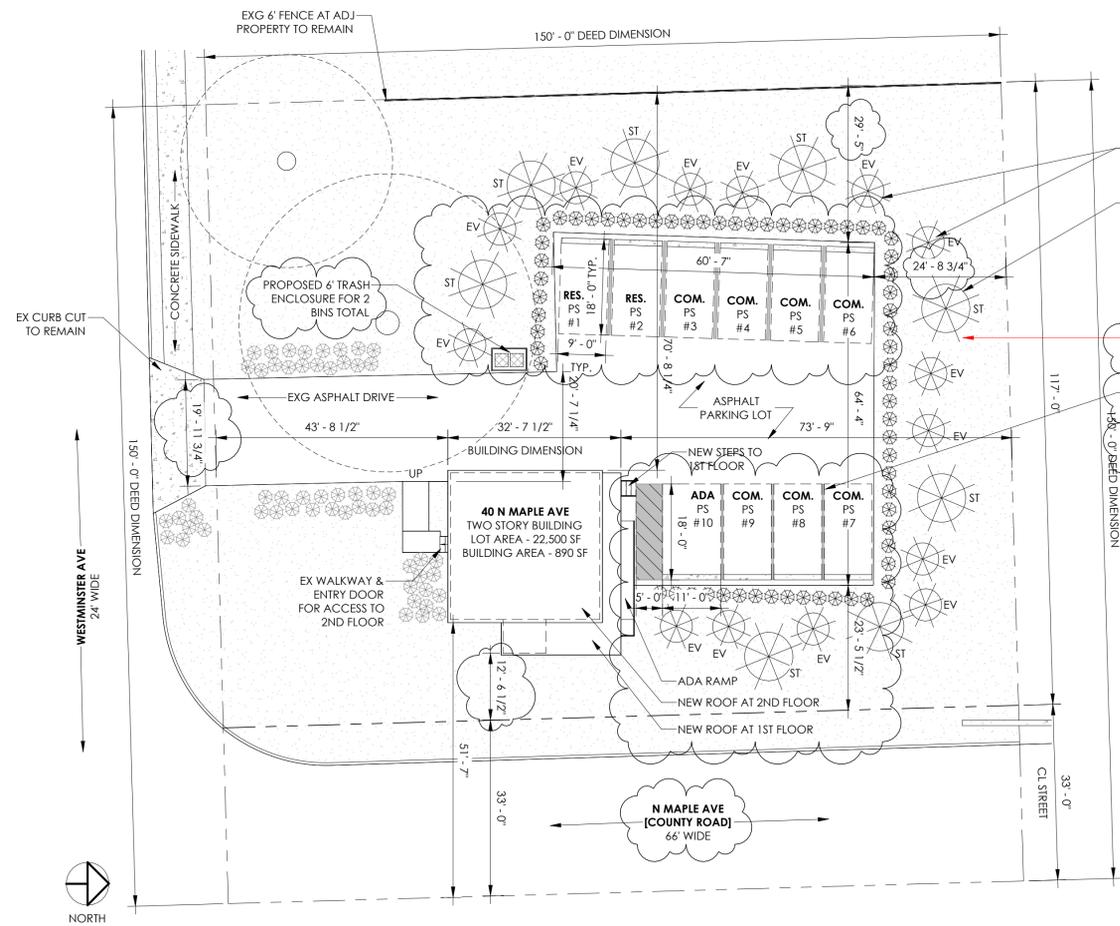
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**SITE PLANS &  
CODE REVIEW -  
ZONING**

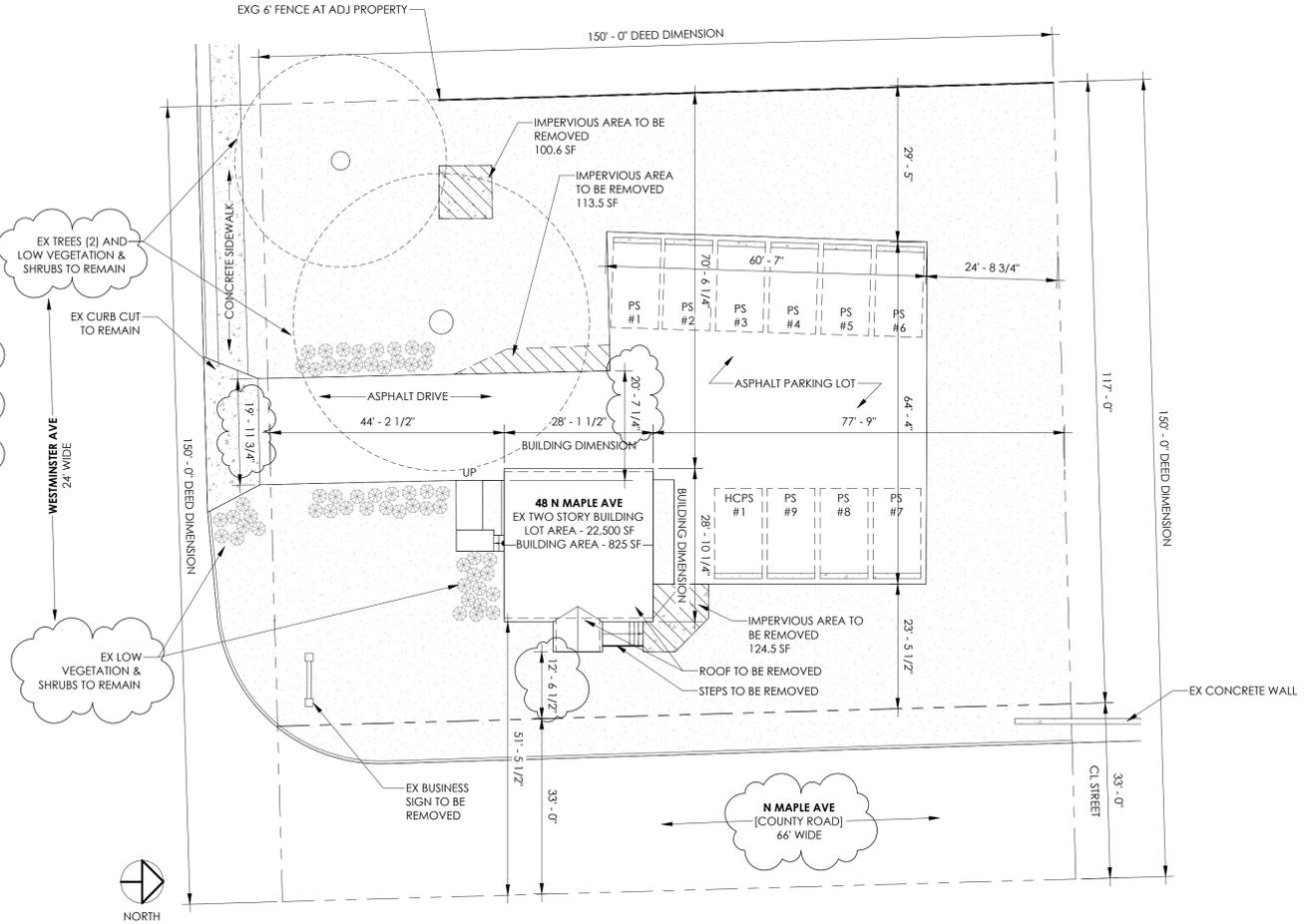
**Z-101**



**2** PROPOSED SITE PLAN - ZONING  
Z-101 1/16" = 1'-0"

LANDSCAPE BUFFERS PROVIDED ON 4 SIDES OF SURFACE PARKING LOT.  
AS PER ZONING CODE SECTION 160-17(D)(1)(B) BUFFER AND SCREENING STANDARDS FOR BUFFERS UP TO 75' SHALL INCLUDE 2 SHADE TREES, FOUR EVERGREEN TREES STAGGERED TO BLOCK OBLIQUE VIEWS, PLUS 20 SHRUBS

LANDSCAPE PLAN TO BE PROVIDED BY TRISTATE ENGINEERING & SURVEYING.  
RE-STRIPING OF EXISTING PARKING SPACES. TYPICAL PARKING SPACE TO BE 9'x18'. ADA PARKING SPACE TO BE 11'x18' W/ 5' LANDING AREA.



**1** EXISTING SITE PLAN - ZONING  
Z-101 1/16" = 1'-0"

EX TREES (2) AND LOW VEGETATION & SHRUBS TO REMAIN

EX LOW VEGETATION & SHRUBS TO REMAIN

IMPERVIOUS AREA TO BE REMOVED 100.6 SF  
IMPERVIOUS AREA TO BE REMOVED 113.5 SF

IMPERVIOUS AREA TO BE REMOVED 124.5 SF  
ROOF TO BE REMOVED  
STEPS TO BE REMOVED

EX BUSINESS SIGN TO BE REMOVED



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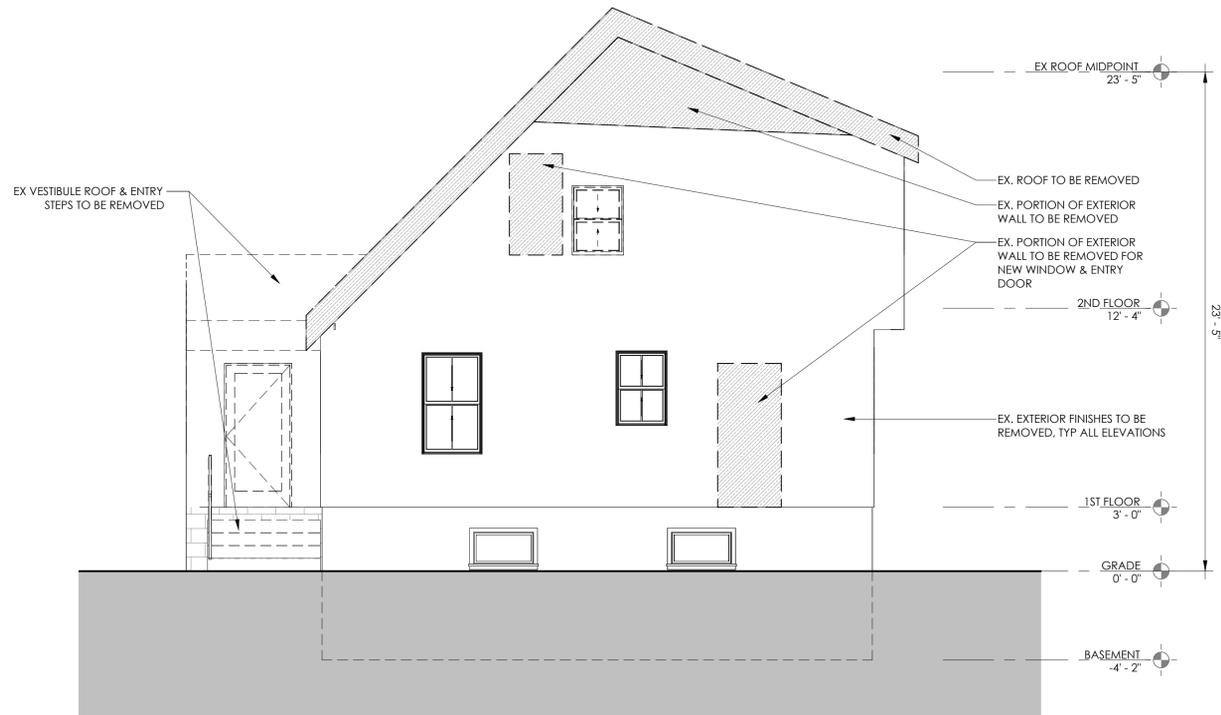
**General Contractor+**

**Structural Engineer+**

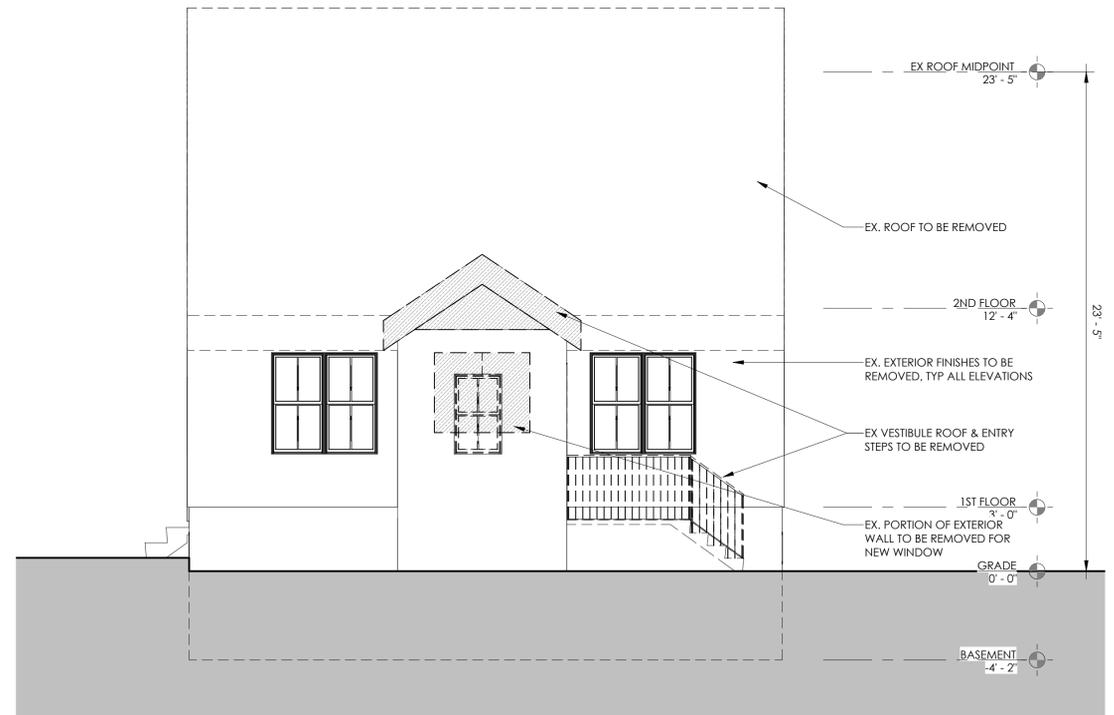
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**EXISTING ZONING ELEVATIONS**



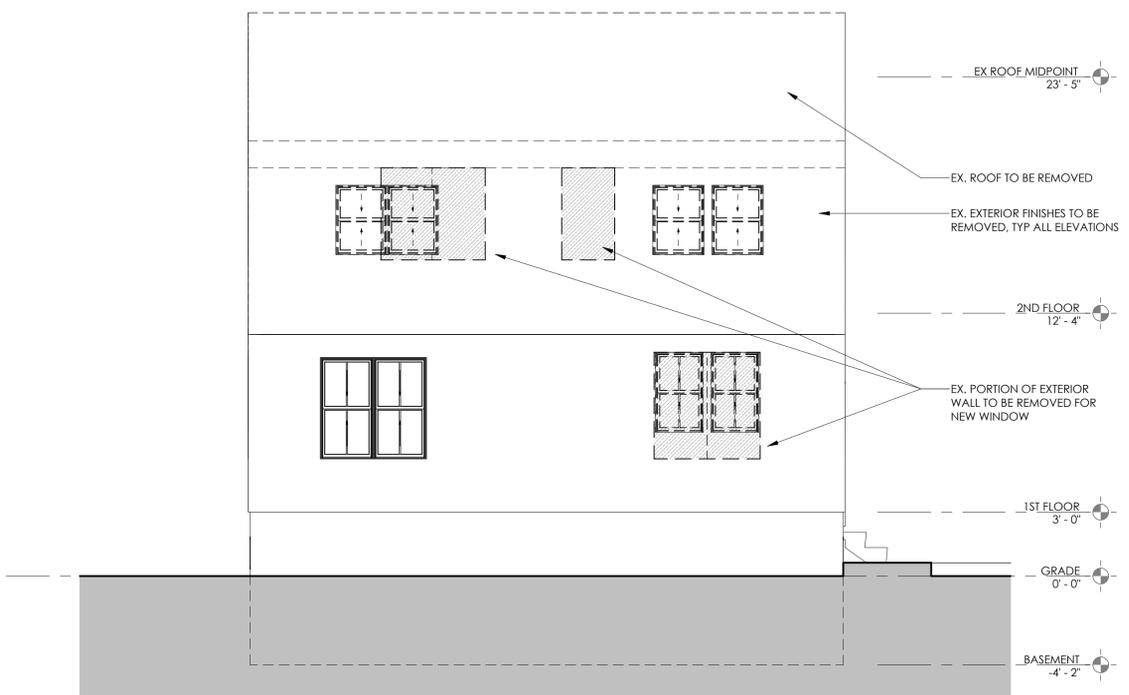
2 EXISTING EXTERIOR ELEVATION - NORTH  
Z-102 / 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - WEST Copy 1  
Z-102 / 1/4" = 1'-0"



4 EXISTING EXTERIOR ELEVATION - NORTH Copy 1  
Z-102 / 1/4" = 1'-0"



3 EXISTING EXTERIOR ELEVATION - WEST  
Z-102 / 1/4" = 1'-0"



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**PROPOSED ZONING ELEVATIONS**

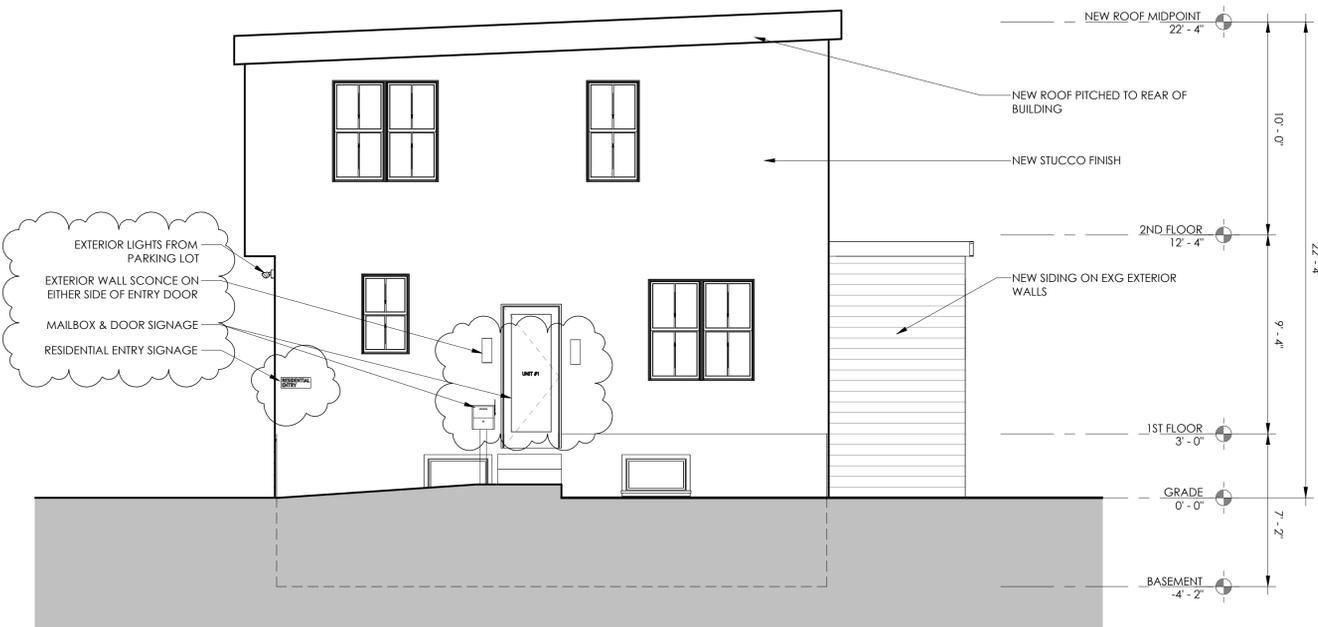
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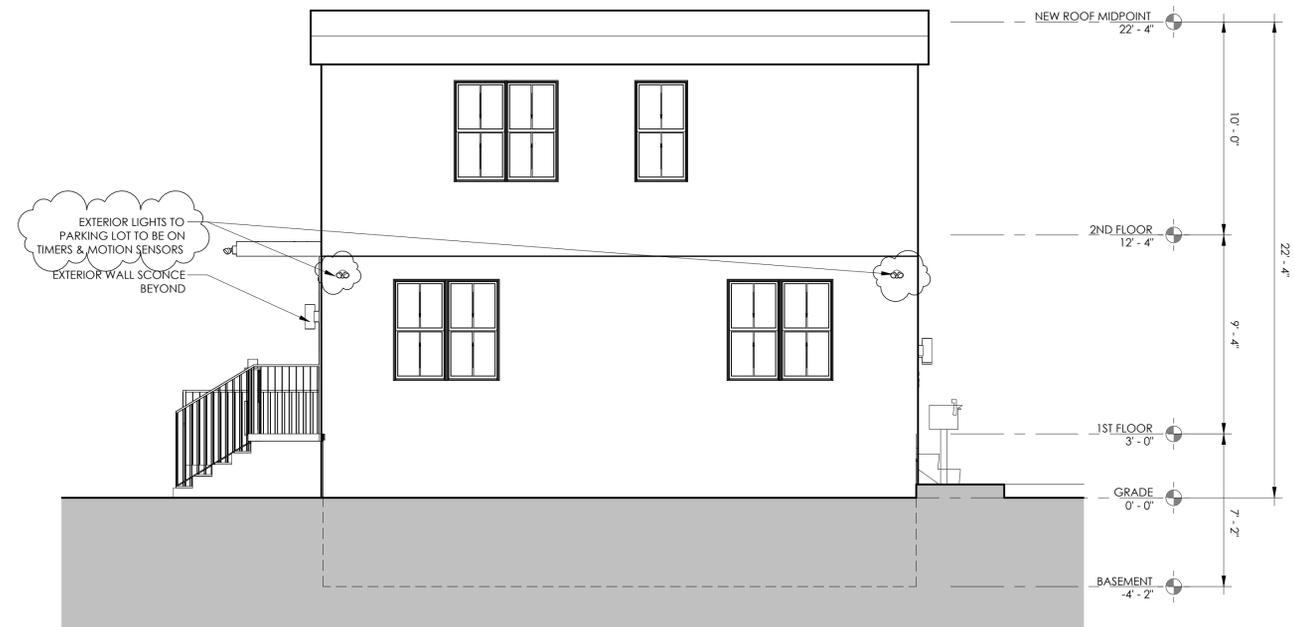
**1** PROPOSED ZONING ELEVATION  
- SOUTH  
Z-103 / 1/4" = 1'-0"



**2** PROPOSED ZONING ELEVATION  
- WEST  
Z-103 / 1/4" = 1'-0"



**3** PROPOSED ZONING ELEVATION  
- NORTH  
Z-103 / 1/4" = 1'-0"



**4** PROPOSED ZONING ELEVATION  
- EAST  
Z-103 / 1/4" = 1'-0"



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2 OPT-2 - FRONT VIEW 2

Z-104



1 OPT-2 - FRONT VIEW 1

Z-104

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**Structural Engineer+**

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RENDERINGS



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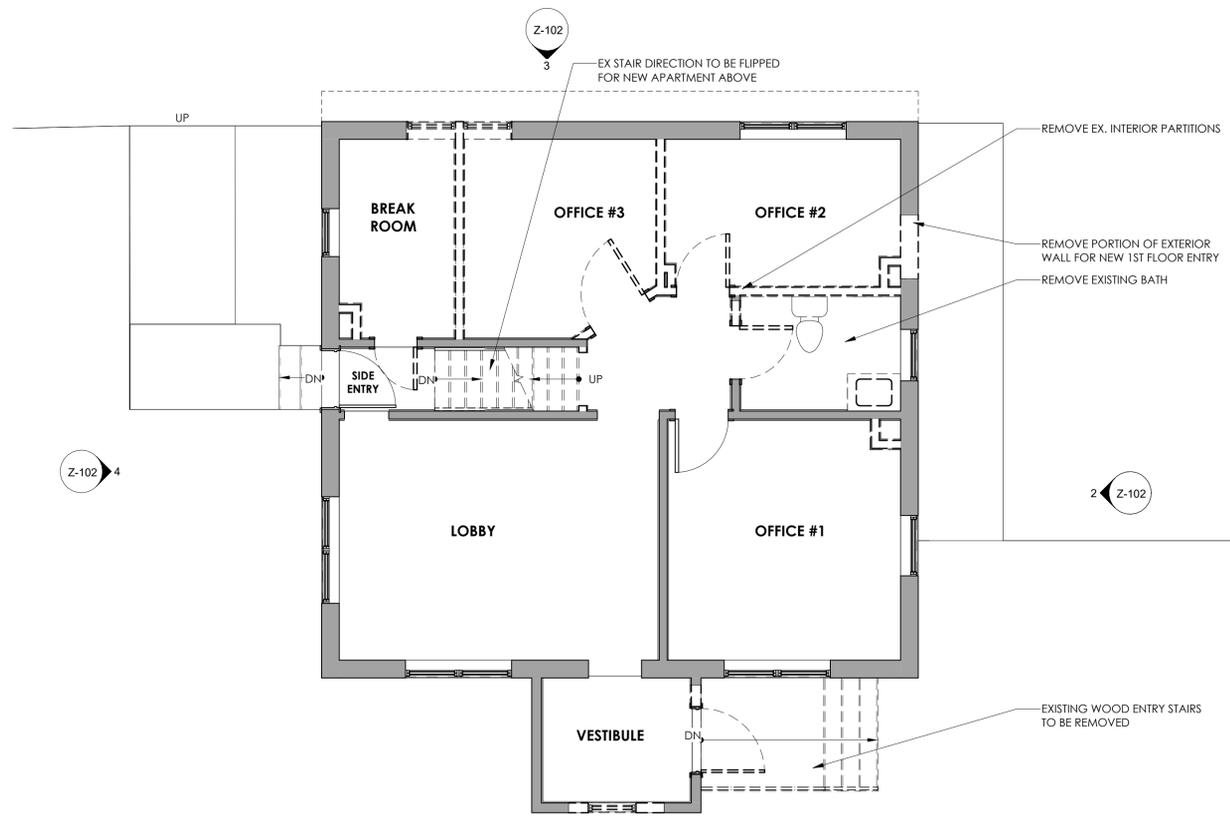
**Structural Engineer+**

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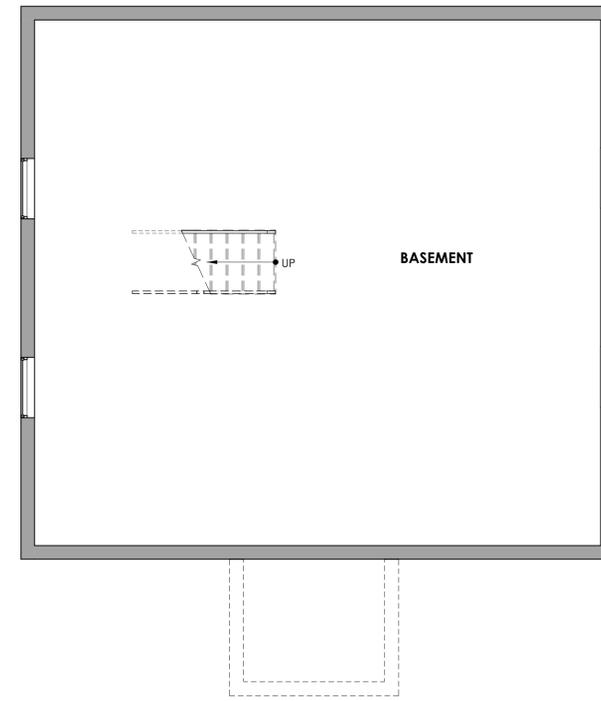
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**PROPOSED FLOOR PLANS**

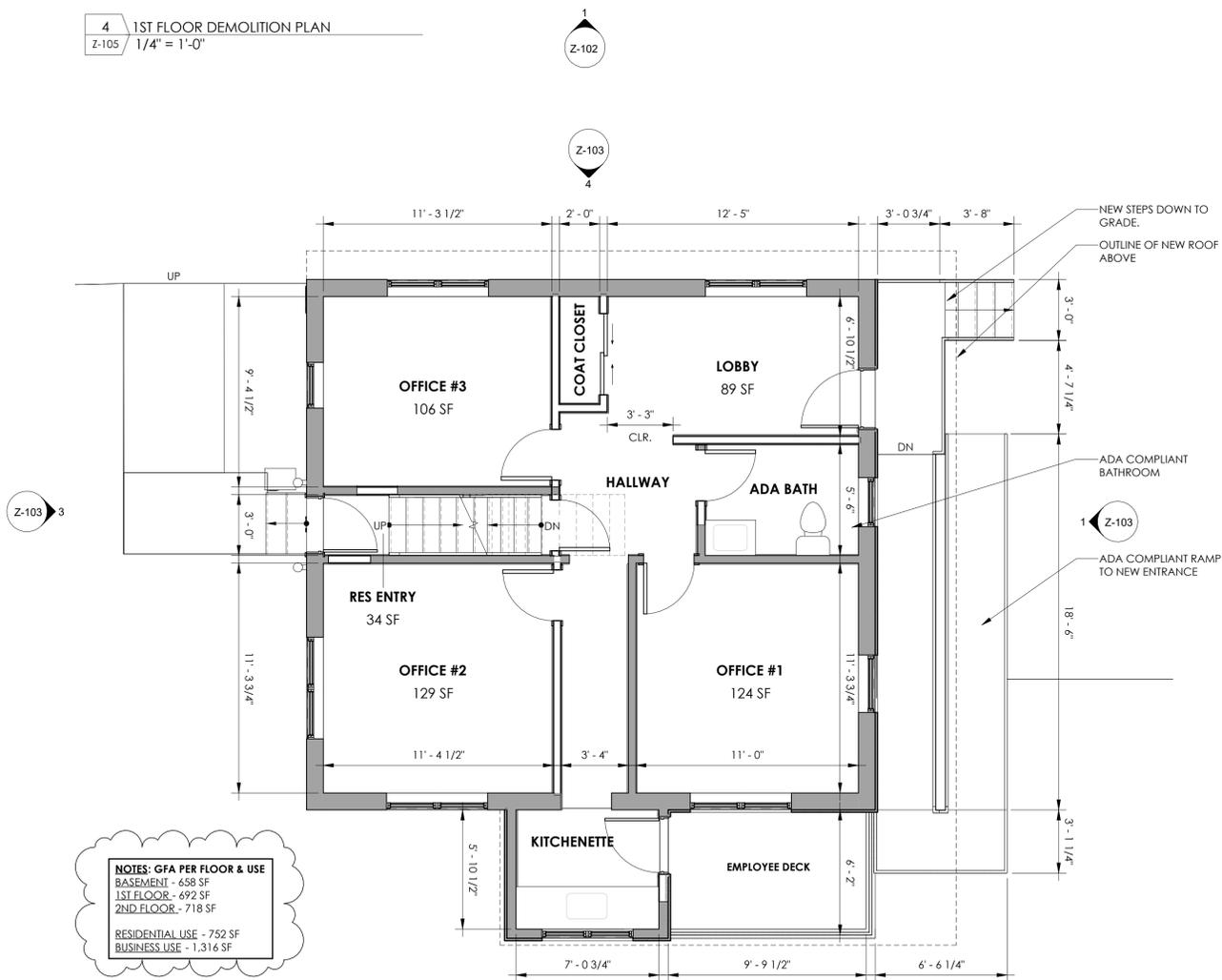
**Z-105**



**4** 1ST FLOOR DEMOLITION PLAN  
Z-105 1/4" = 1'-0"

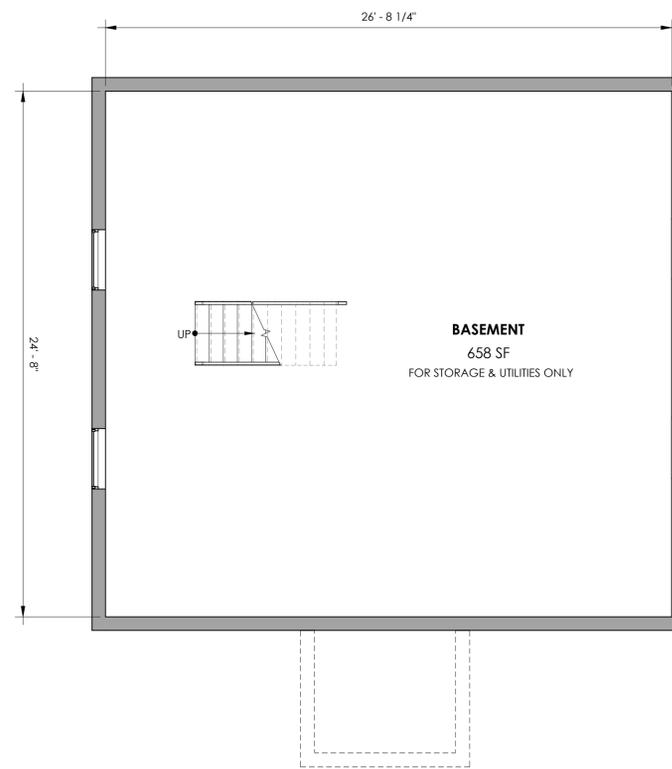


**3** BASEMENT DEMOLITION PLAN  
Z-105 1/4" = 1'-0"

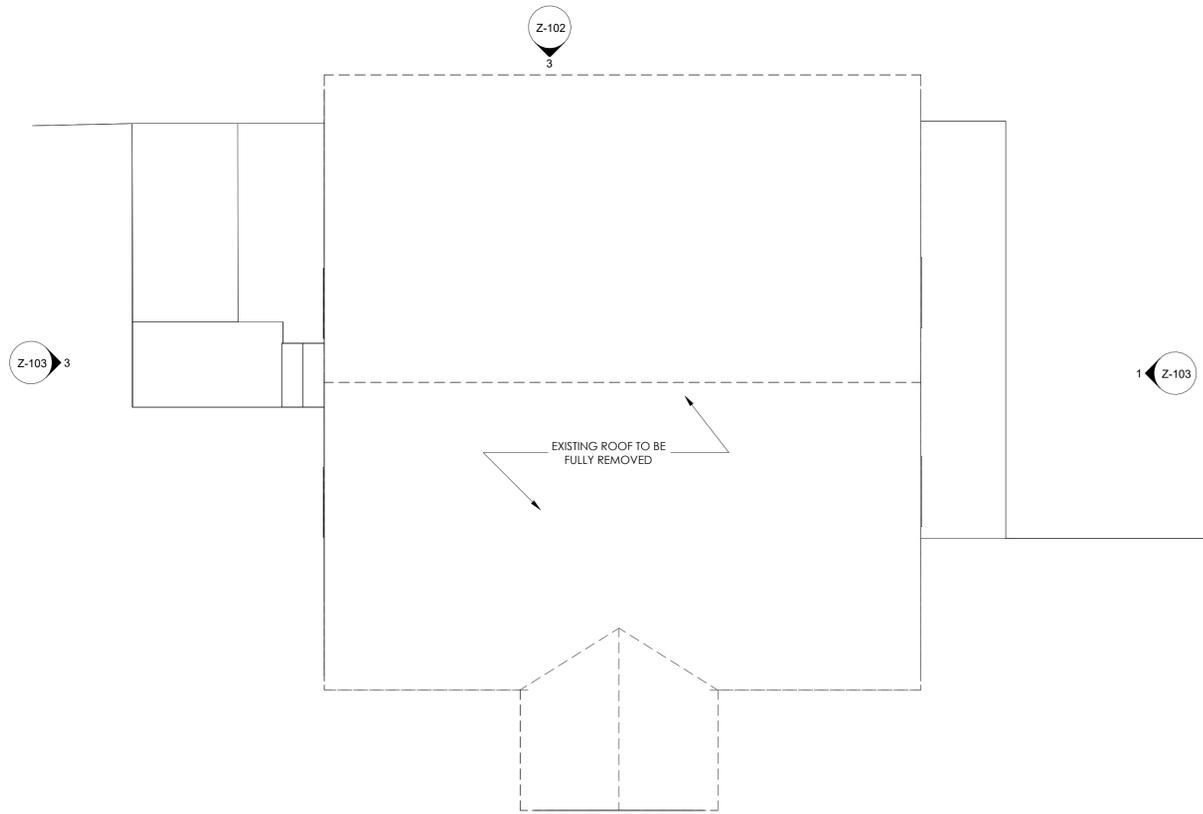


**NOTES: GFA PER FLOOR & USE**  
 BASEMENT - 658 SF  
 1ST FLOOR - 692 SF  
 2ND FLOOR - 718 SF  
 RESIDENTIAL USE - 752 SF  
 BUSINESS USE - 1,314 SF

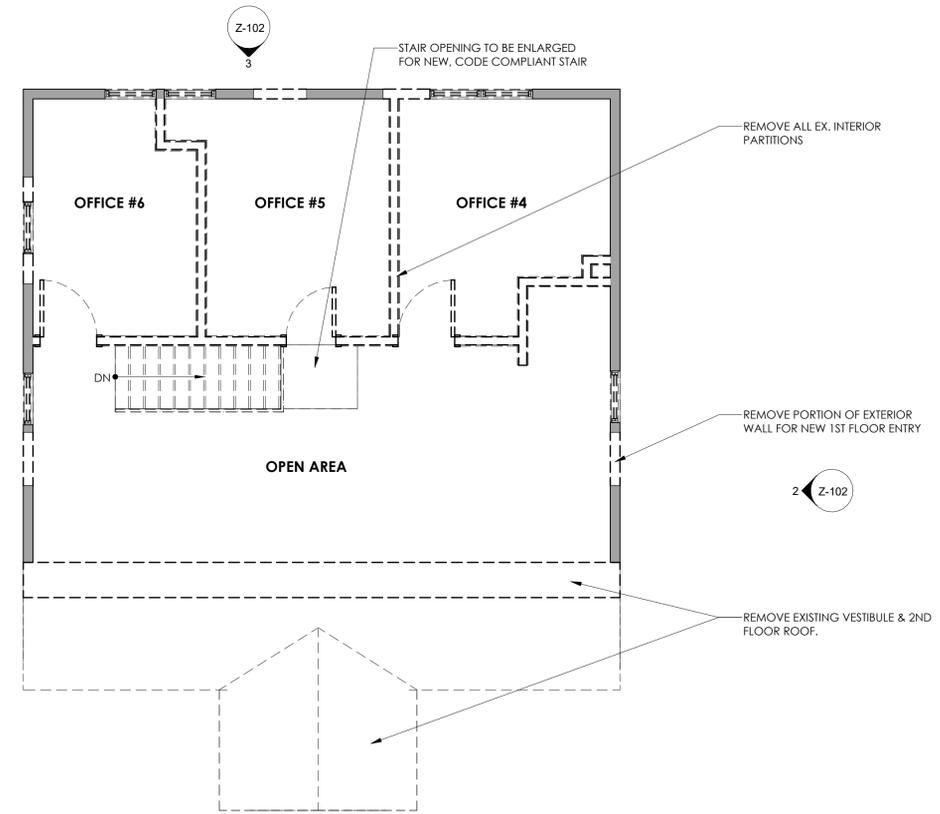
**2** 1ST FLOOR PROPOSED PLAN  
Z-105 1/4" = 1'-0"



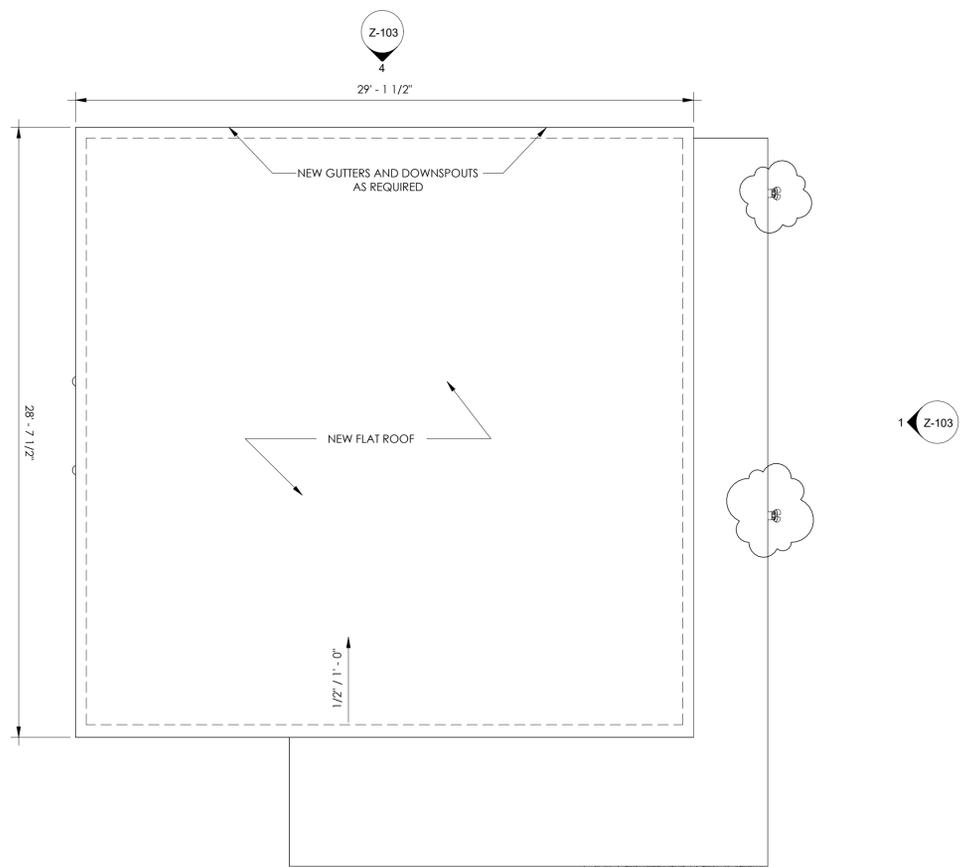
**1** BASEMENT PROPOSED PLAN  
Z-105 1/4" = 1'-0"



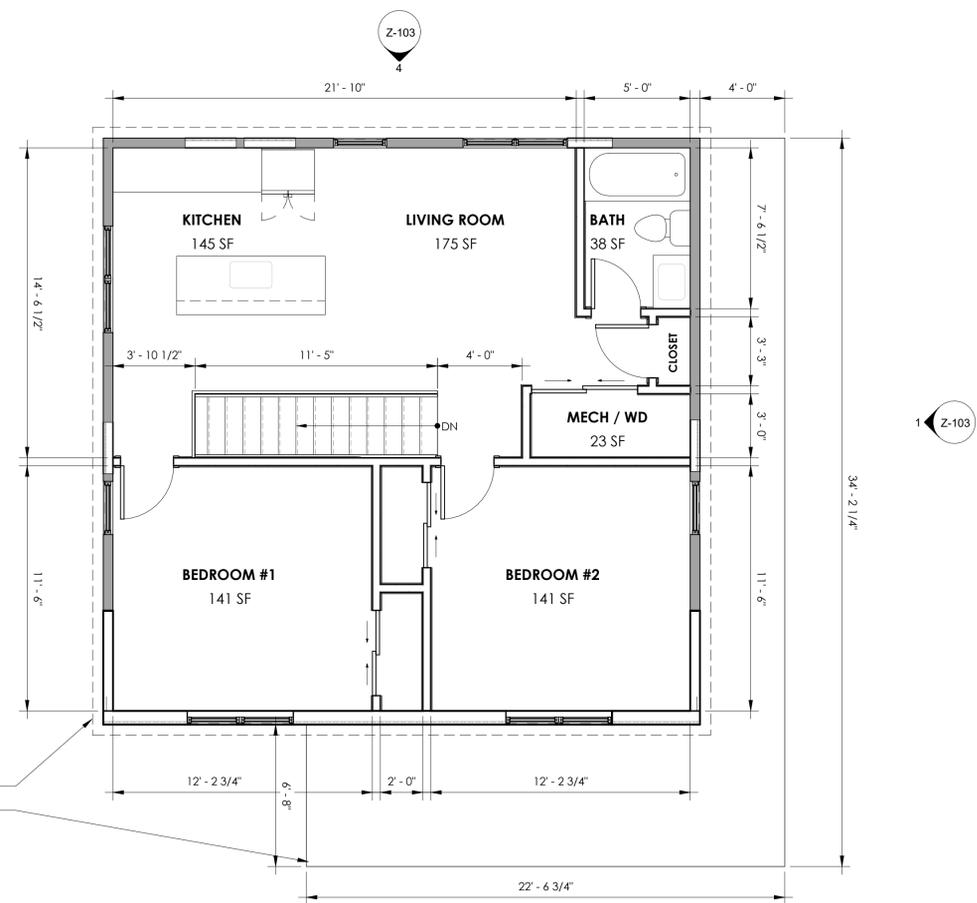
4 ROOF DEMOLITION PLAN  
Z-106 / 1/4" = 1'-0"



3 2ND FLOOR DEMOLITION PLAN  
Z-106 / 1/4" = 1'-0"



2 ROOF PROPOSED PLAN  
Z-106 / 1/4" = 1'-0"



1 2ND FLOOR PROPOSED PLAN  
Z-106 / 1/4" = 1'-0"



**PACE ARCHITECTURE + DESIGN, LLC**

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Maple Ave Renovations  
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Marlton, NJ 08053

**Owner+**  
TG Properties LLC  
601 White Horse Pike  
Hammonton, NJ 08037

**General Contractor+**

**Structural Engineer+**

DATE	DESCRIPTION
04.10.25	ZONING HEARING BOARD RESUBMISSION
02.03.25	ZONING HEARING BOARD
01.07.25	CHECK SET TO OWNER

Date 04.10.25  
Drawn by BE

**PROPOSED FLOOR PLANS**

Z-106